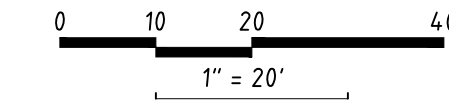


# ADVANCED BUILDERS LA CENTER

Pre-App  
Proposed Plan



### Contact

Applicant: -Same as Engineer-  
Owner: Advanced Pro Builders - Luis, J.  
advancedprobuilders1@icloud.com  
303 NE Tomahawk Island Drive, Suite 3  
Portland OR, 97217  
Contact: -Same as Engineer-  
Engineer: Engineering Northwest, PLLC  
6168 NE Hwy 99, Suite 100  
Vancouver, WA 98665  
Contact: Paul Williams, P.E.  
Phone: (360) 931-3122  
Email: PaulWilliamsPE@gmail.com

### General Legend

- Project Boundary
- Adjacent Boundary
- Easement Line
- Centerline
- Setback Line
- Existing Building
- Asphalt
- Concrete
- Gravel
- GIS Contour

## PA05

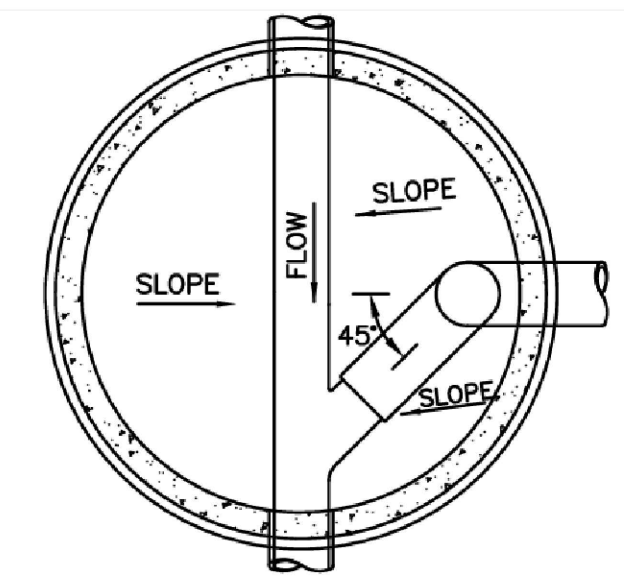
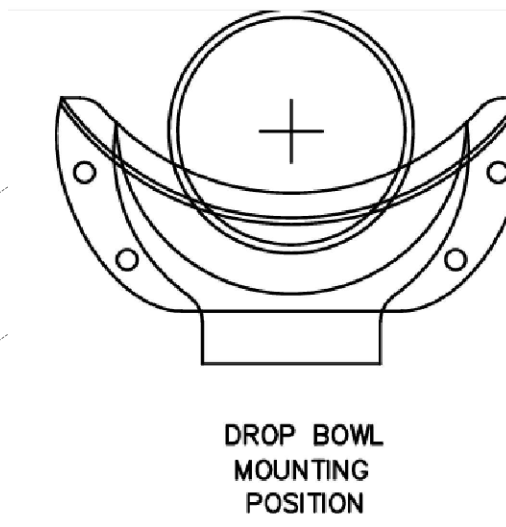
Project: #####  
Date: 3/1/2023  
Drafted: PCW  
Page: ##### of #####

**Northwest Utilities  
1-800-425-5555**  
"It's the law"  
Call 48 hours before you dig.

Revisions:

### General Information and Land Use

Parcel SN: 63620-000  
Address: No Address Available,  
La Center, WA 98629  
Zone: RP (La Center Residential/Professional)  
LCMC 18.145.040  
Gross area: 0.23 AC (10,004± SF)  
R/W area: 0.00 AC (00,000± SF)  
Net area: 0.23 AC (10,004± SF)  
Max density: 4 du < (?? ?? du) = 14 du/AC x .23 AC  
Min density: 4 du > (?? ?? du) = 8 du/AC x .23 AC



RELINER® INSIDE DROP BOWL SECURED WITH STAINLESS STEEL BOLTS 316 GRADE

FERNCO FLEXIBLE COUPLING OR EQUAL

RELINER® STAINLESS STEEL STRAPS OR EQUAL SECURE TO STRUCTURE WITH 2 STAINLESS STEEL BOLTS 316 GRADE. STRAP AT 4' INTERVALS (MIN. OF 2)

TRIM PIPE TO 2" MAX. V NOTCH BOTTOM EDGE

PVC SEWER PIPE

GLUE FITTING BELL & SPIGOT SWEEP ELBOW EMBEDDED IN CONC. AT 45° W/ SEWER FLOW

PROPOSED SEWER AND WATER PLAN

ADVANCED BUILDERS FOUR PLEX



**ENGINEERING NORTHWEST**  
CONSULTING ENGINEERS & PLANNERS  
6168 NW HWY 99 STE 100, VANCOUVER 98665  
(360) 931-3122