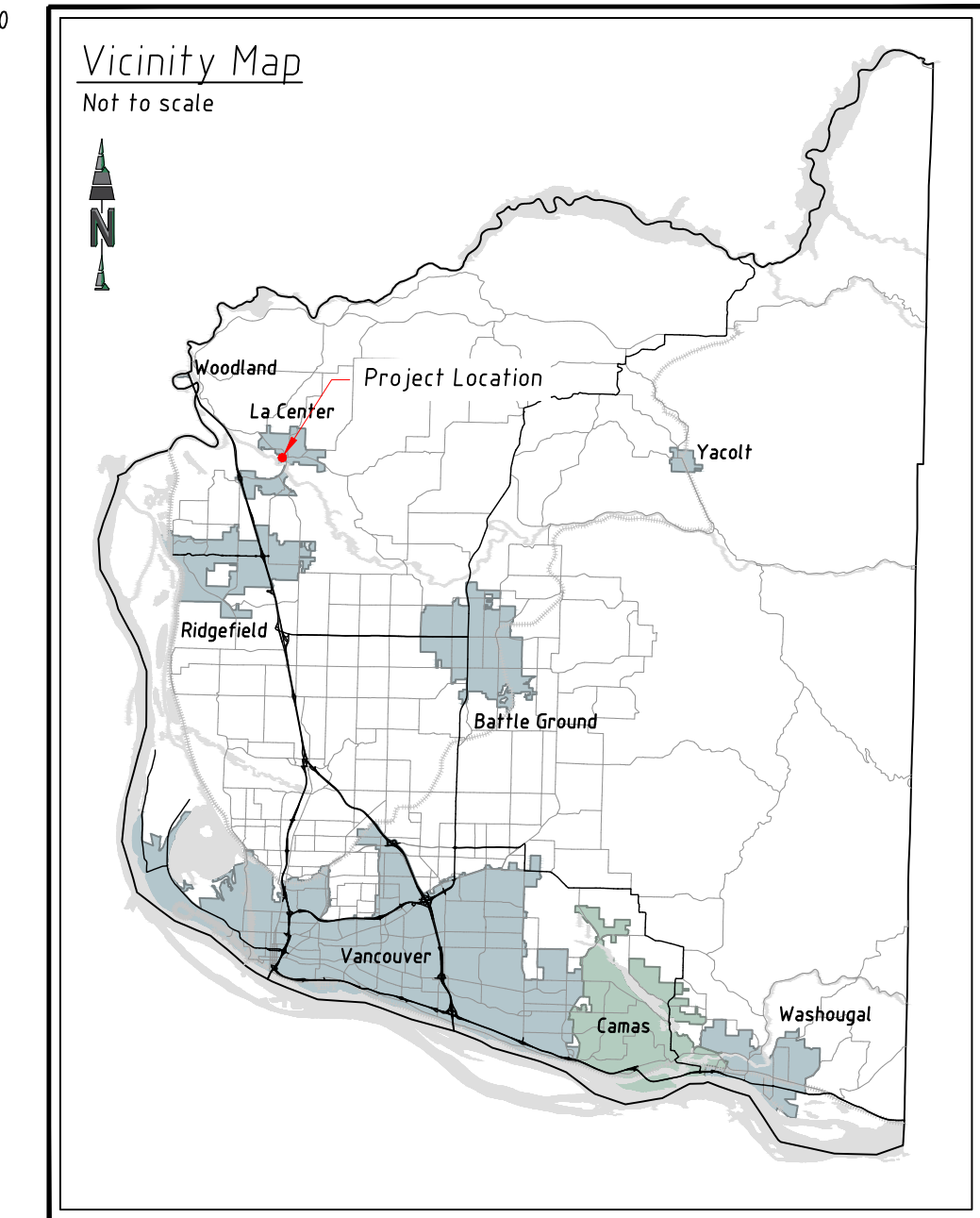
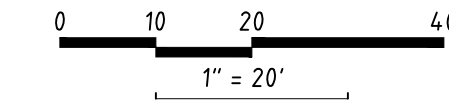


# ADVANCED BUILDERS LA CENTER

Pre-App  
Existing Conditions



**General Legend**

[Symbol]	Project Boundary
[Symbol]	Adjacent Boundary
[Symbol]	Easement Line
[Symbol]	Centerline
[Symbol]	Setback Line
[Symbol]	Existing Building
[Symbol]	Asphalt
[Symbol]	Concrete
[Symbol]	Gravel
[Symbol]	GIS Contour

**Contact**

Applicant: -Same as Engineer-

Owner: ???  
??? St.  
??? WA, 98???

Contact: -Same as Engineer-

Engineer: Engineering Northwest, PLLC  
6168 NE Hwy 99, Suite 100  
Vancouver, WA 98685  
Contact: Paul Williams, P.E.  
Phone: (360) 931-3122  
Email: PaulWilliamsPE@gmail.com

**General Information and Land Use**

Parcel SN: 63610-000  
Address: No Address Available  
La Center, WA 98629

Zone: RP (La Center Residential/Professional)  
LCMC 18.145.040

Gross area: 0.23 AC (10,004+ SF)  
R/W area: 0.00 AC (00,000+ SF)  
Net area: 0.23 AC (10,004+ SF)  
Max density: 4 du x (???) du = 14 du/AC x .23 AC  
Min density: 4 du x (???) du = 8 du/AC x .23 AC

The following critical areas are not located within 100 feet of site: water courses, designated floodplain, water bodies or known wetland, and/or historic resources.

The following structures are not located within 100 feet of site: pedestrian or bicycle facilities, and/or wells.

The following transit systems are not located within 1/4 of a mile of the site: routes and/or stops

**Development Standards (RP)**

LCMC Table 18.140.030 per 18.145.040 (2)	8 du/AC	- 14 du/AC	Proposed
Density:	???	du/AC	43138
Min avg. lot area:	1,400 SF	?	???
Max avg. lot area:	N/A	?	???
Min avg. lot width:	20 ft	?	???
Min avg. lot depth:	60 ft	?	???
Min setbacks:			
Front	10 ft	10 ft	
Garage	18 ft	18 ft	
Street Side	10 ft	10 ft	
Side	0 ft	5 ft	
Rear	10 ft	10 ft	
Max lot coverage:	60%	60%	
Max building height:	35 ft	35 ft	

**Waste Collections**  
Solid waste and recyclable collection by individual bins placed along W E Avenue.

**Parking**  
Minimum 2 off-street parking stalls provided on each lot.

**Fire**  
Existing hydrant FH-2070 is located approximately 104 feet north-northwest along W E Street from the project site. County GIS data reports a tested rate of 2,?? GPM at ?? psi.

**Disclaimer**  
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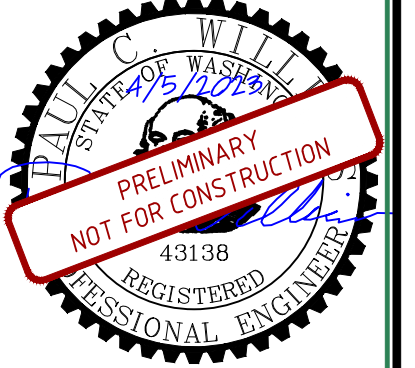
**PA01**

Project: #####  
Date: 4/5/2023  
Drafted:  
Designed: PCW  
Page: ##### of #####

**Northwest Utilities**  
1-800-425-5555  
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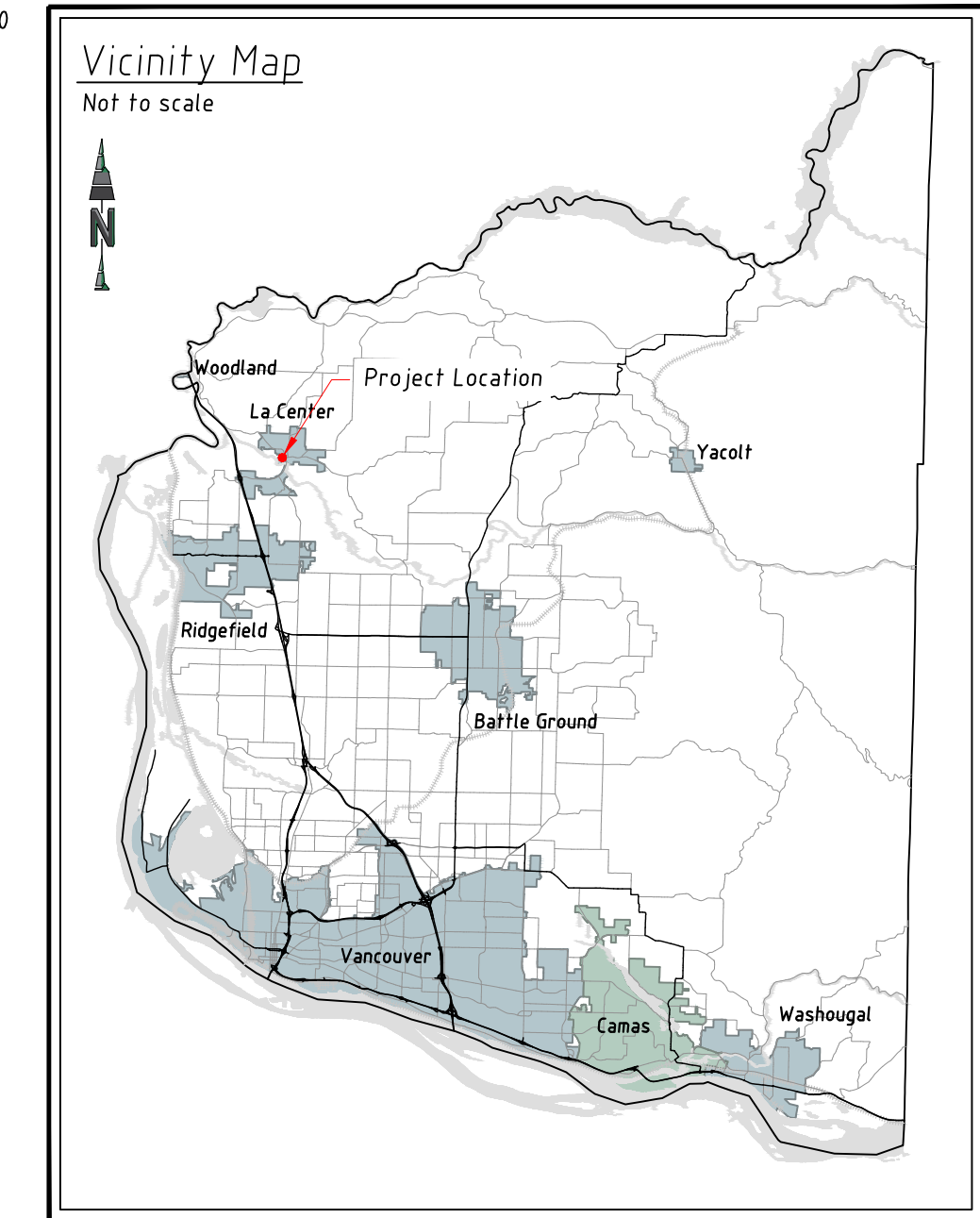
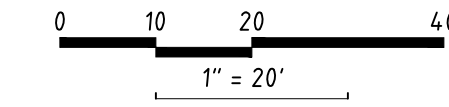
Revisions:

EXISTING CONDITION PLAN  
**ADVANCED BUILDERS FOUR PLEX**



**ENGINEERING NORTHWEST**  
CONSULTING ENGINEERS & PLANNERS  
6168 NW HWY 99 STE 100, VANCOUVER 98665  
(360) 931-3122

# ADVANCED BUILDERS LA CENTER



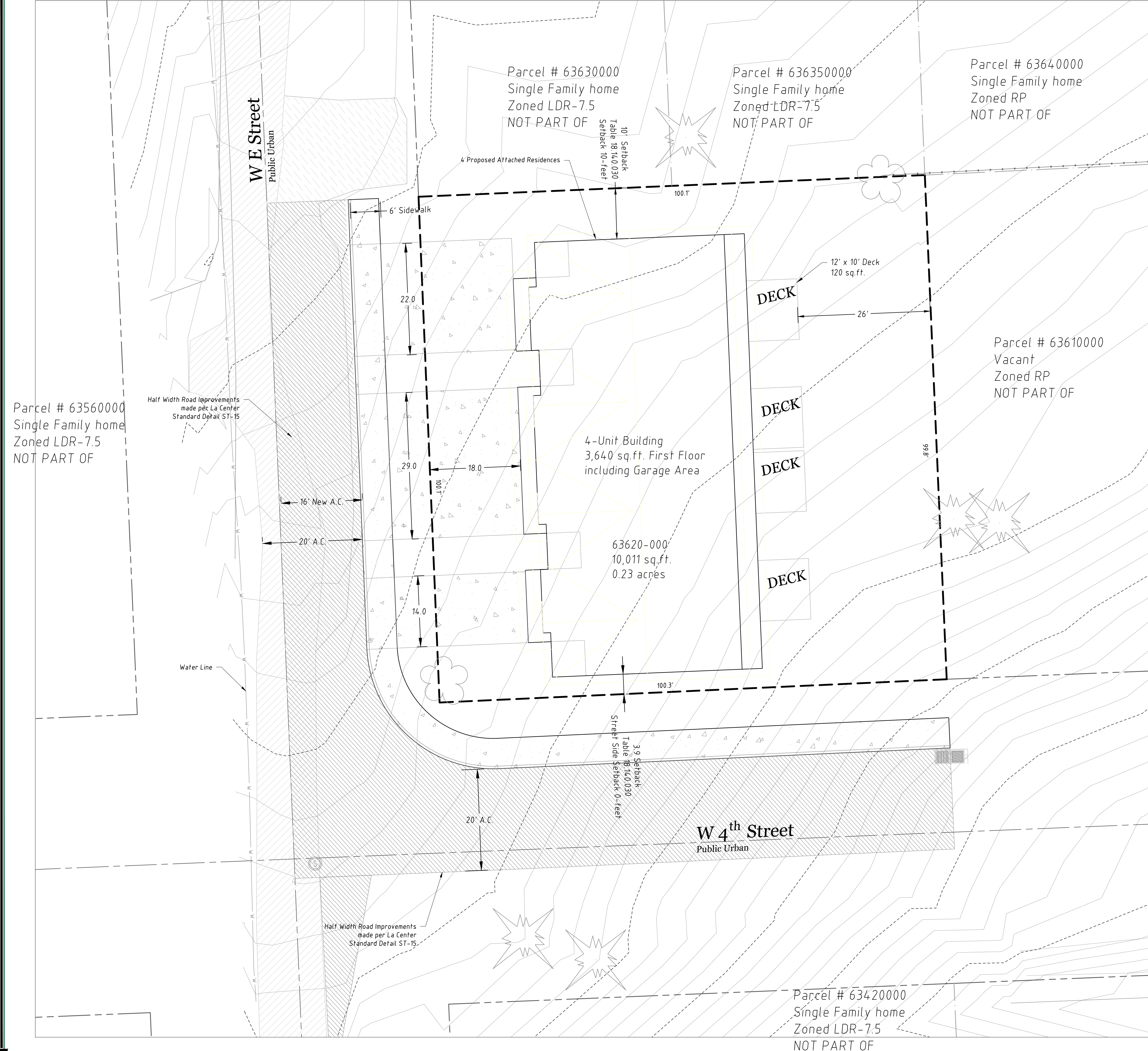
## PA02

Project: #####  
 Date: 4/5/2023  
 Drafted:  
 Designed: PCW  
 Page: ##### of #####

**Northwest Utilities**  
**1-800-425-5555**  
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Revisions:

**PROPOSED DEVELOPMENT PLAN**  
**ADVANCED BUILDERS FOUR PLEX**



### General Legend

- Project Boundary
- Adjacent Boundary
- Easement Line
- Centerline
- Setback Line
- Existing Building
- Asphalt
- Concrete
- Gravel
- GIS Contour

### Contact

Applicant: -Same as Engineer-  
 Owner: Advanced Pro Builders - Luis, J.  
 advancedprobuilders1@icloud.com  
 303 NE Tomahawk Island Drive, Suite 3  
 Portland OR, 97217  
 Contact: -Same as Engineer-  
 Engineer: Engineering Northwest, PLLC  
 6168 NE Hwy 99, Suite 100  
 Vancouver, WA 98685  
 Contact: Paul Williams, P.E.  
 Phone: (360) 931-3122  
 Email: PaulWilliamsPE@gmail.com

### General Information and Land Use

Parcel SN: 63620-000  
 Address: No Address Available.  
 La Center, WA 98629  
 Zone: RP (La Center Residential/Professional)  
 LCMC 18.145.040  
 Gross area: 0.23 AC (10,004+ SF)  
 R/W area: 0.00 AC (00,000+ SF)  
 Net area: 0.23 AC (10,004+ SF)  
 Max density: 4 du x (?? ?? du) = 14 du/AC x .23 AC  
 Min density: 4 du x (?? ?? du) = 8 du/AC x .23 AC

The following critical areas are not located within 100 feet of site: water courses, designated floodplain, water bodies or known wetland, and/or historic resources.

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The following transit systems are not located within 1/4 of a mile of the site: routes and/or stops

### Development Standards (RP)

LCMC Table 18.145.040 (2)	Proposed
Density: 8 du/AC - 14 du/AC	?? du/AC
Min avg. lot area: 1,400 SF	?,?? sf
Max avg. lot area: N/A	?,?? sf
Min avg. lot width: 20 ft	?? ft
Min avg. lot depth: 60 ft	?? ft
Min setbacks	
Front	10 ft
Garage	18 ft
Street Side	10 ft
Side	0 ft
Rear	10 ft
Max lot coverage: 60%	60%
Max building height: 35 ft	35 ft

### Waste Collections

Solid waste and recyclable collection by individual bins placed along W E Avenue.

### Parking

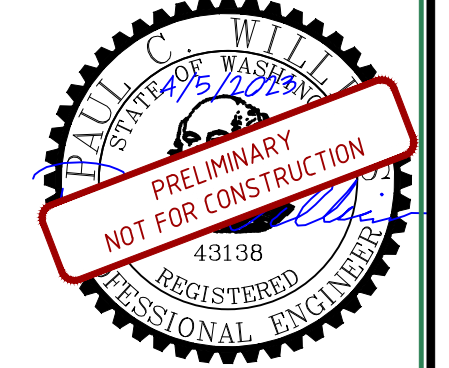
Minimum 2 off-street parking stalls provided on each lot.

### Fire

Existing hydrant FH-2070 is located approximately 104 feet north-northwest along W E Street from the project site. County GIS data reports a tested rate of 2,?? GPM at ?? psi.

### Disclaimer

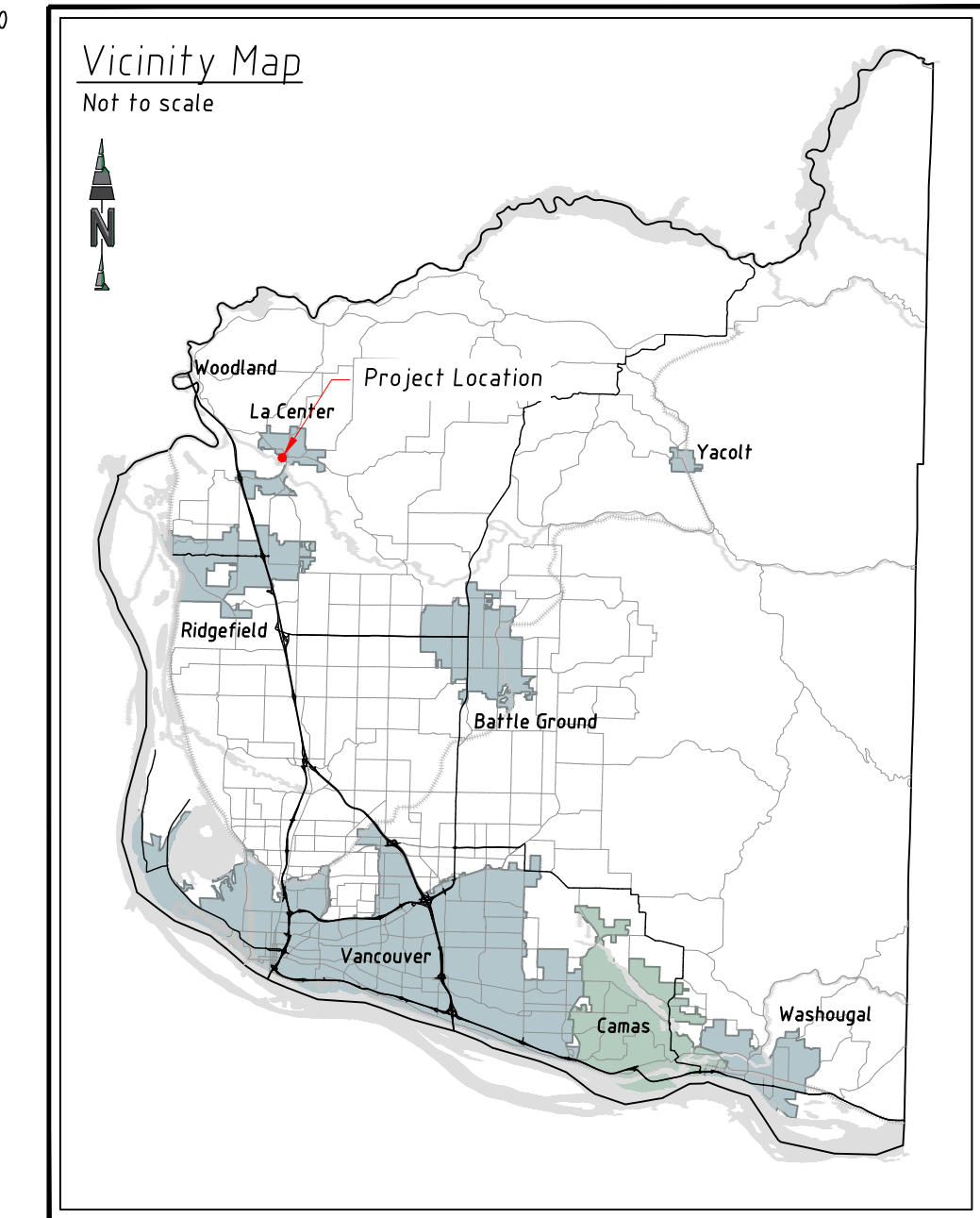
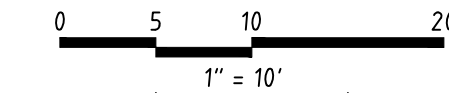
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 CONSULTING ENGINEERS & PLANNERS  
 6168 NW HWY 99 STE 100, VANCOUVER 98665  
 (360) 931-3122

# ADVANCED BUILDERS LA CENTER

Pre-App  
Proposed Plan

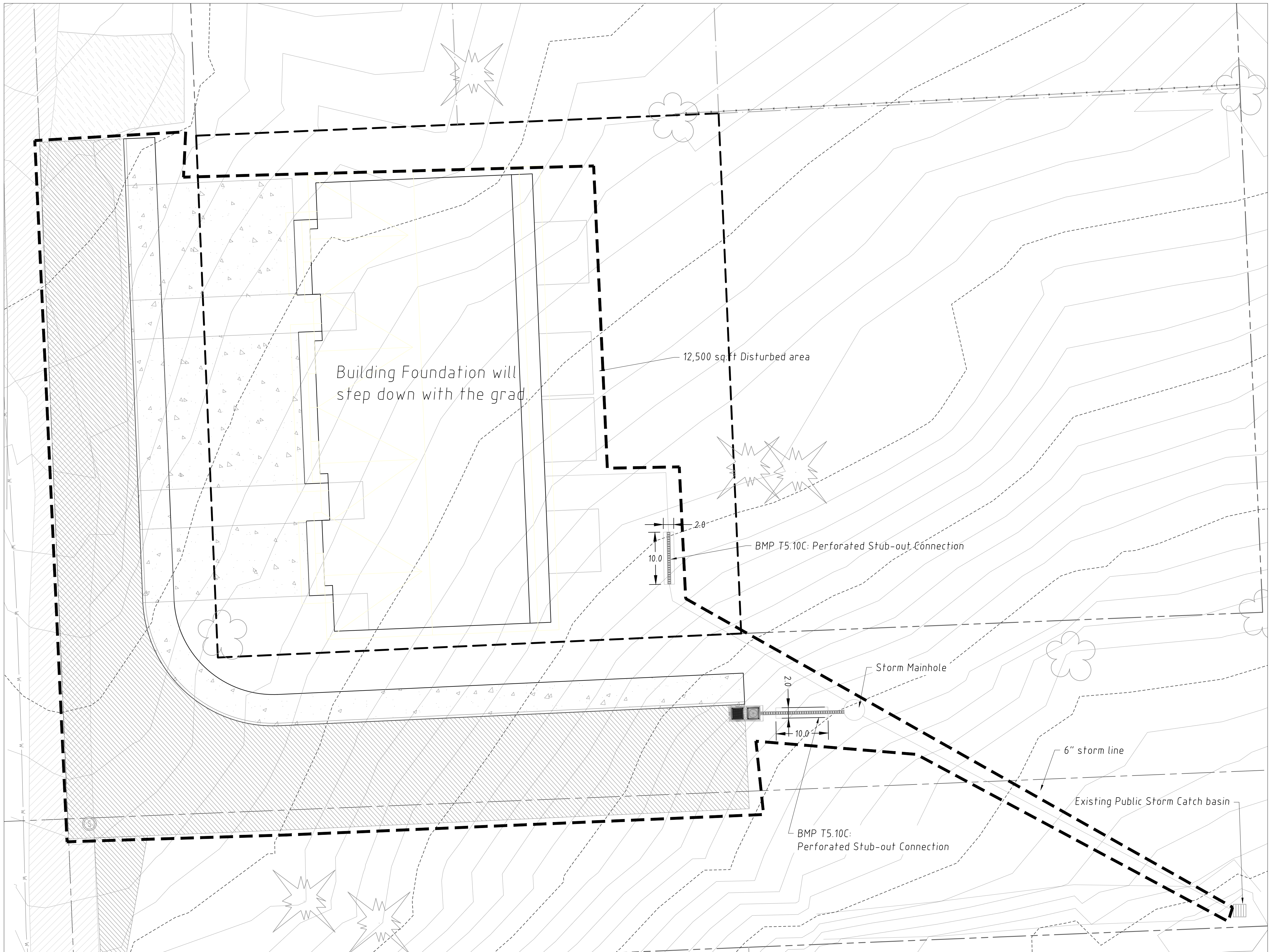


## PA03

Project: #####  
Date: 4/5/2023  
Drafted:  
Designed: PCW  
Page: ##### of #####

**Northwest Utilities**  
1-800-425-5555  
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Revisions:



### General Legend

- Project Boundary
- Adjacent Boundary
- Easement Line
- Centerline
- Setback Line
- Existing Building
- Asphalt
- Concrete
- Gravel
- GIS Contour

### Contact

Applicant: -Same as Engineer-  
Owner: Advanced Pro Builders - Luis, J.  
advancedprobuilders1@icloud.com  
303 NE Tomahawk Island Drive, Suite 3  
Portland OR, 97217  
Contact: -Same as Engineer-  
Engineer: Engineering Northwest, PLLC  
6168 NE Hwy 99, Suite 100  
Vancouver, WA 98685  
Contact: Paul Williams, P.E.  
Phone: (360) 931-3122  
Email: PaulWilliamsPE@gmail.com

### General Information and Land Use

Parcel SN: 63620-000  
Address: No Address Available.  
La Center, WA 98629  
Zone: RP (La Center Residential/Professional)  
LCMC 18.145.040  
Gross area: 0.23 AC (10,004+ SF)  
R/W area: 0.00 AC (00,000+ SF)  
Net area: 0.23 AC (10,004+ SF)  
Max density: 4 du - (?? ?? du) = 14 du/AC x .23 AC  
Min density: 4 du - (?? ?? du) = 8 du/AC x .23 AC

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The following structures are not located within 100 feet of site: pedestrian or bicycle facilities, and/or wells.

The following transit systems are not located within 1/4 of a mile of the site: routes and/or stops

### Development Standards (RP)

LCMC Table 18.140.030 per 18.145.040 (2)	Proposed
Density: 8 du/AC - 14 du/AC	?? du/AC
Min avg. lot area: 1,400 SF	?,?? sf
Max avg. lot area: N/A	?,?? sf
Min avg. lot width: 20 ft	?? ft
Min avg. lot depth: 60 ft	?? ft
Min setbacks	
Front	10 ft
Garage	18 ft
Street Side	10 ft
Side	0 ft
Rear	10 ft
Max lot coverage: 60%	60%
Max building height: 35 ft	35 ft

### Waste Collections

Solid waste and recyclable collection by individual bins placed along W E Avenue.

### Parking

Minimum 2 off-street parking stalls provided on each lot.

### Fire

Existing hydrant FH-2070 is located approximately 104 feet north-northwest along W E Street from the project site. County GIS data reports a tested rate of 2,?? GPM at ?? psi.

### Disclaimer

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**TOTAL HARD SURFACE AREA**

Roof Area =	4,275 Sq.Ft.
Driveway Area =	1,495 Sq.Ft.
Public Sidewalk Area =	740 Sq.Ft.
Public AC Area =	2,755 Sq.Ft.
Total	9,265 Sq.Ft.

**PROPOSED GRADE PLAN**  
**ADVANCED BUILDERS FOUR PLEX**



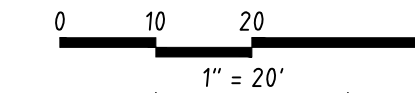
**ENGINEERING NORTHWEST**  
 CONSULTING ENGINEERS & PLANNERS  
 6168 NW HWY 99 STE 100, VANCOUVER 98665  
 (360) 931-3122

# ADVANCED BUILDERS LA CENTER

Pre-App  
Proposed Plan

This project will not plant nuisance or prohibited vegetation  
The project will install permanent irrigation system

Landscaping requirement 15 percent of the site area.  
Project area 10,004 square feet. Thus  $10,004 \times 15\% = 1,500$  square feet.  
The project proposes 1,720 square feet.



### General Legend

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### Contact

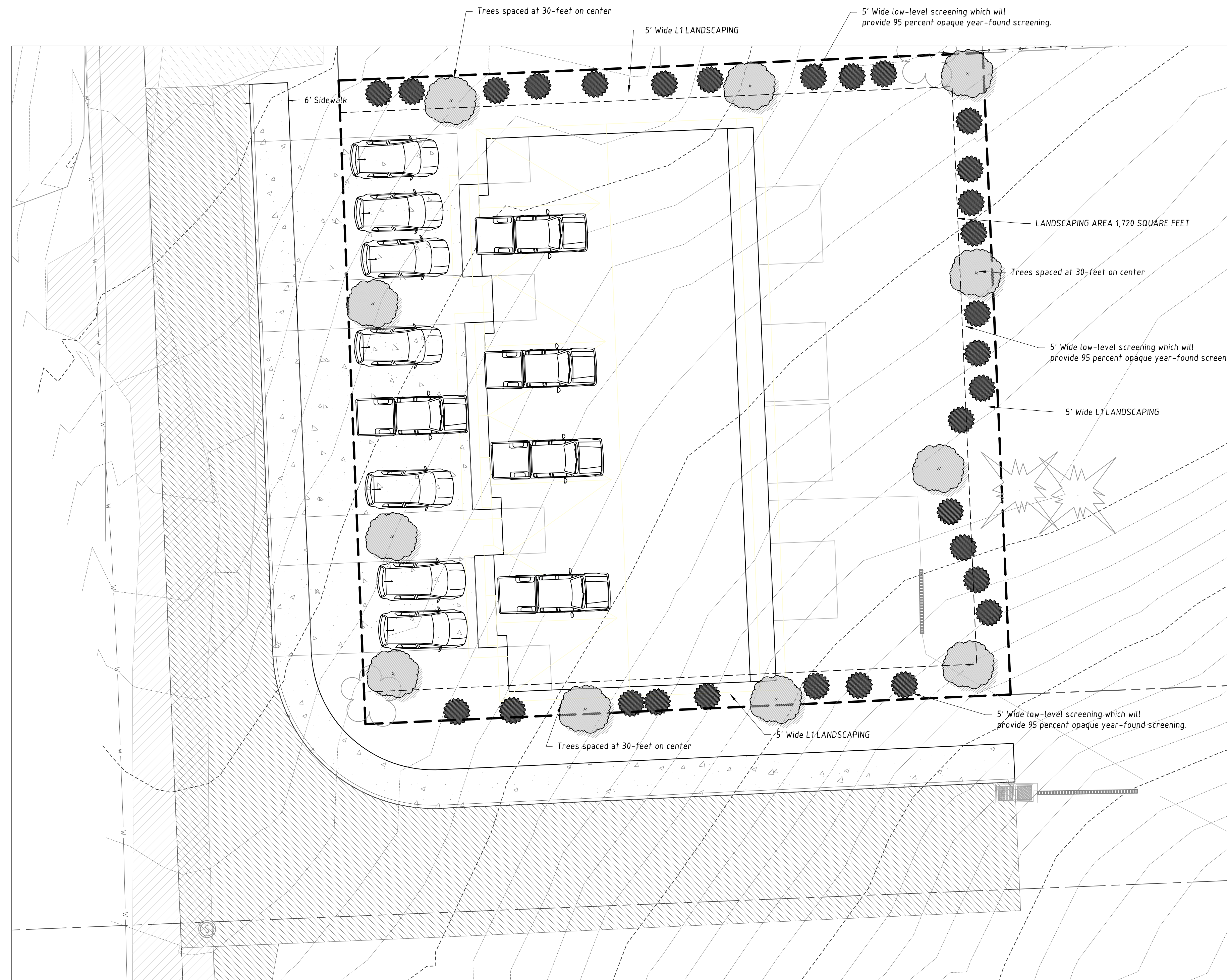
Applicant: -Same as Engineer-  
Owner: Advanced Pro Builders - Luis, J.  
advancedprobuilders1@icloud.com  
303 NE Tomahawk Island Drive, Suite 3  
Portland OR, 97217  
Contact: -Same as Engineer-  
Engineer: Engineering Northwest, PLLC  
6168 NE Hwy 99, Suite 100  
Vancouver, WA 98685  
Contact: Paul Williams, P.E.  
Phone: (360) 931-3122  
Email: PaulWilliamsPE@gmail.com

**PA04**

Project: #####  
Date: 4/5/2023  
Drafted:  
Designed: PCW  
Page: ##### of #####

**Northwest Utilities**  
**1-800-425-5555**  
"It's the law"  
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Revisions:

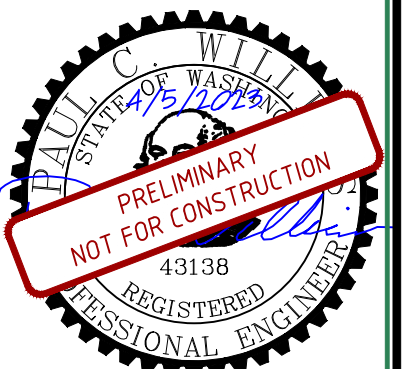


### Landscape Schedule

Symbol	Common Name	Species	Height x Width	Container	Qty
	City Sprite zelkova	Zelkova Serrata 'JFS-KW'	25 x 20	B&B	12
	Snowbrush	Ceanothus velutinus		1 gallon	30

PROPOSED LANDSCAPE PLAN

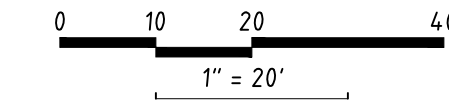
**ADVANCED BUILDERS FOUR PLEX**



**ENGINEERING NORTHWEST**  
CONSULTING ENGINEERS & PLANNERS  
6168 NW HWY 99 STE 100, VANCOUVER 98665  
(360) 931-3122

# ADVANCED BUILDERS LA CENTER

Pre-App  
Proposed Plan



### Contact

Applicant: -Same as Engineer-  
 Owner: Advanced Pro Builders - Luis, J.  
 advancedprobuilders1@icloud.com  
 303 NE Tomahawk Island Drive, Suite 3  
 Portland OR, 97217  
 Contact: -Same as Engineer-  
 Engineer: Engineering Northwest, PLLC  
 6168 NW Hwy 99, Suite 100  
 Vancouver, WA 98685  
 Contact: Paul Williams, P.E.  
 Phone: (360) 931-3122  
 Email: PaulWilliamsPE@gmail.com

### General Legend

- Project Boundary
- - - Adjacent Boundary
- - - Easement Line
- - - Centerline
- - - Setback Line
- - - Existing Building
- - - Asphalt
- - - Concrete
- - - Gravel
- - - GIS Contour

## PA05

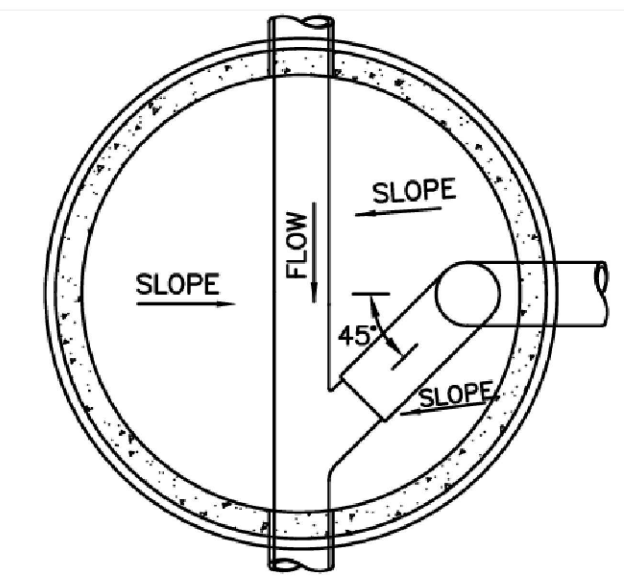
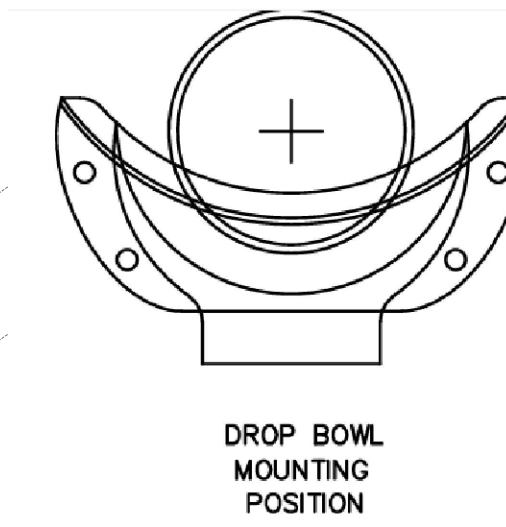
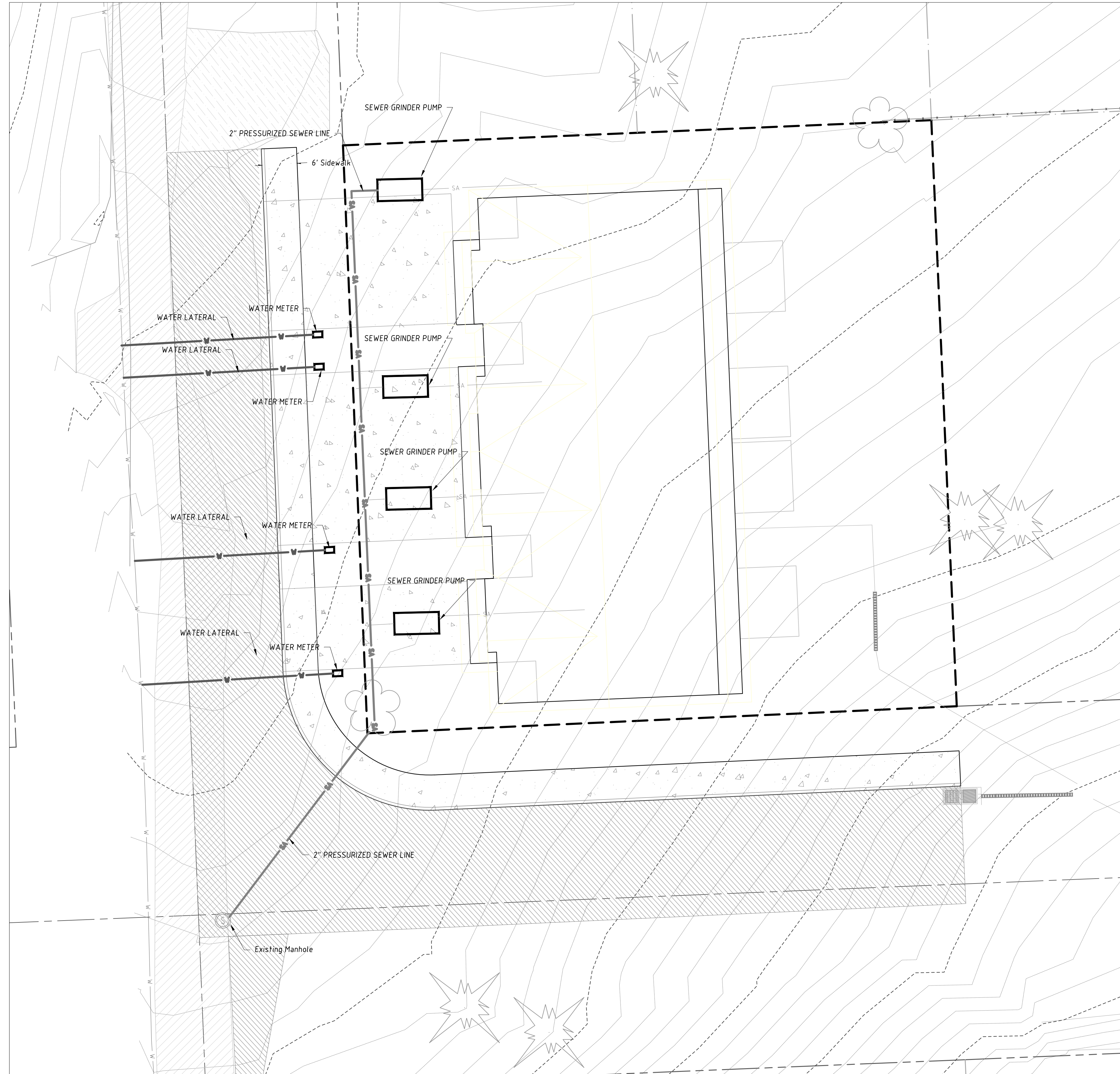
Project: #####  
 Date: 4/5/2023  
 Drafted: PCW  
 Page: ##### of #####

**Northwest Utilities**  
**1-800-425-5555**  
 "It's the law"  
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Revisions:

### General Information and Land Use

Parcel SN: 63620-000  
 Address: No Address Available,  
 La Center, WA 98629  
 Zone: RP (La Center Residential/Professional)  
 LCMC 18.145.040  
 Gross area: 0.23 AC (10,004± SF)  
 R/W area: 0.00 AC (00,000± SF)  
 Net area: 0.23 AC (10,004± SF)  
 Max density: 4 du < (?? ?? du) = 14 du/AC x .23 AC  
 Min density: 4 du > (?? ?? du) = 8 du/AC x .23 AC



RELINER® INSIDE DROP BOWL SECURED WITH STAINLESS STEEL BOLTS 316 GRADE

FERNCO FLEXIBLE COUPLING OR EQUAL

RELINER® STAINLESS STEEL STRAPS OR EQUAL SECURE TO STRUCTURE WITH 2 STAINLESS STEEL BOLTS 316 GRADE. STRAP AT 4' INTERVALS (MIN. OF 2)

TRIM PIPE TO 2" MAX. V NOTCH BOTTOM EDGE

PVC SEWER PIPE

GLUE FITTING BELL & SPIGOT SWEEP ELBOW EMBEDDED IN CONC. AT 45° W/ SEWER FLOW

PROPOSED SEWER AND WATER PLAN

ADVANCED BUILDERS FOUR PLEX



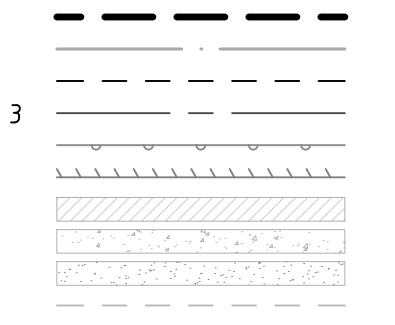
**ENGINEERING NORTHWEST**  
 CONSULTING ENGINEERS & PLANNERS  
 6168 NW HWY 99 STE 100, VANCOUVER 98665  
 (360) 931-3122

# ADVANCED BUILDERS LA CENTER

**Contact**

Applicant: -Same as Engineer-  
 Owner: Advanced Pro Builders - Luis, J.  
 advancedprobuilders1@icloud.com  
 303 NE Tomahawk Island Drive, Suite 3  
 Portland OR, 97217  
 Contact: Paul Williams, P.E.  
 Phone: (360) 931-3122  
 Email: PaulWilliamsPE@gmail.com  
 Engineer: Engineering Northwest, PLLC  
 6168 NE Hwy 99, Suite 100  
 Vancouver, WA 98665  
 Contact: Paul Williams, P.E.  
 Phone: (360) 931-3122  
 Email: PaulWilliamsPE@gmail.com

**General Legend**



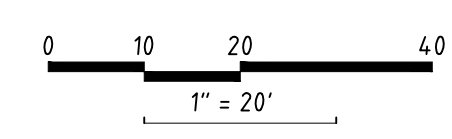
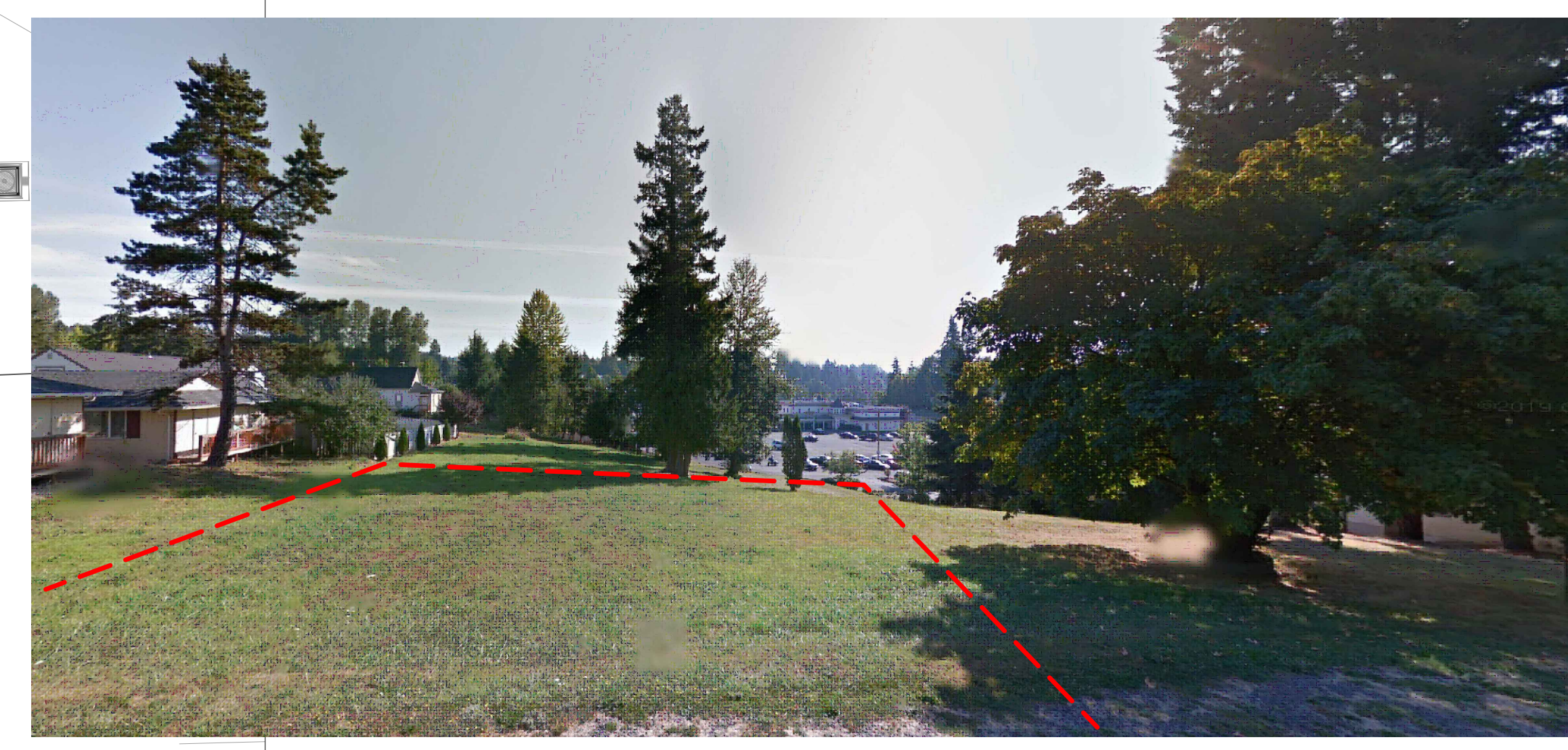
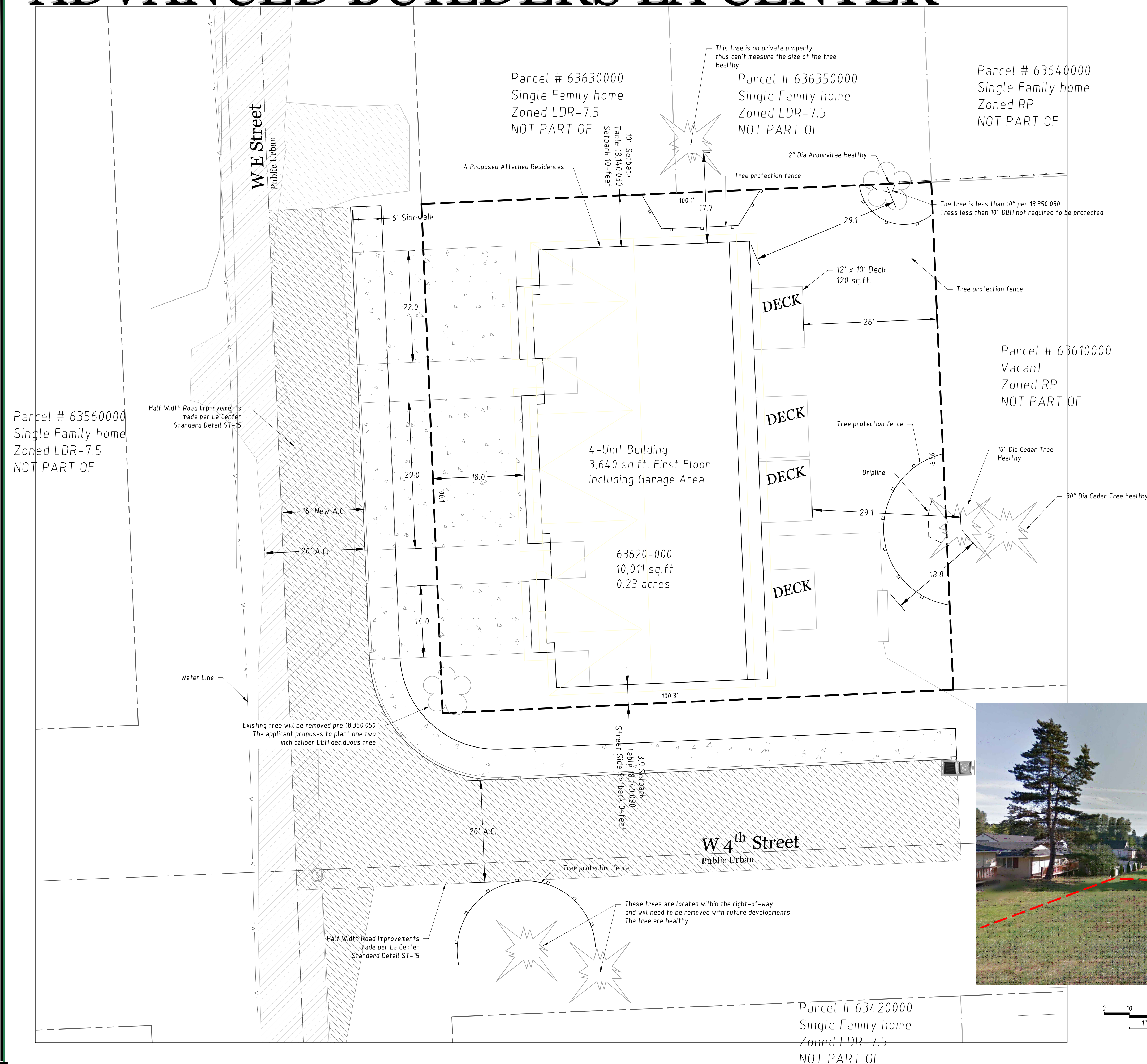
Project Boundary  
 Adjacent Boundary  
 Easement Line  
 Centerline  
 Setback Line  
 Existing Building  
 Asphalt  
 Concrete  
 Gravel  
 GIS Contour

**PA06**

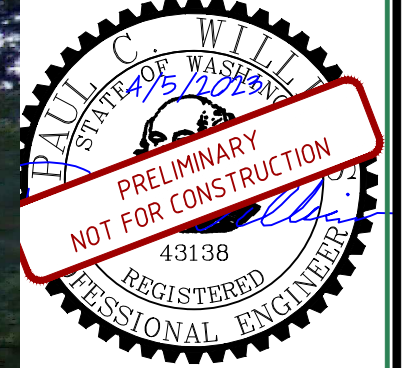
Project: #####  
 Date: 4/5/2023  
 Drafted: PCW  
 Designed: PCW  
 Page: ##### of #####

**Northwest Utilities**  
**1-800-425-5555**  
 "It's the law"  
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Revisions:

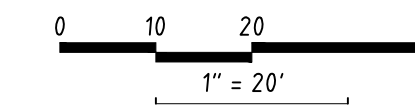


**PROPOSED TREE PROTECTOPM PLAN**  
**ADVANCED BUILDERS FOUR PLEX**



**ENGINEERING NORTHWEST**  
 CONSULTING ENGINEERS & PLANNERS  
 6168 NW HWY 99 STE 100, VANCOUVER 98665  
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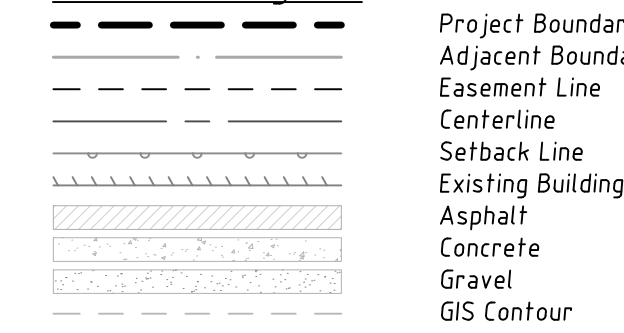
# ADVANCED BUILDERS LA CENTER



### Contact

Applicant: -Same as Engineer-  
 Owner: Advanced Pro Builders - Luis, J.  
 advancedprobuilders1@icloud.com  
 303 NE Tomahawk Island Drive, Suite 3  
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 Contact: -Same as Engineer-  
 Engineer: Engineering Northwest, PLLC  
 6168 NW Hwy 99, Suite 100  
 Vancouver, WA 98665  
 Contact: Paul Williams, P.E.  
 Phone: (360) 931-3122  
 Email: PaulWilliamsPE@gmail.com

### General Legend



Project Boundary  
 Adjacent Boundary  
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 Setback Line  
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## PA07

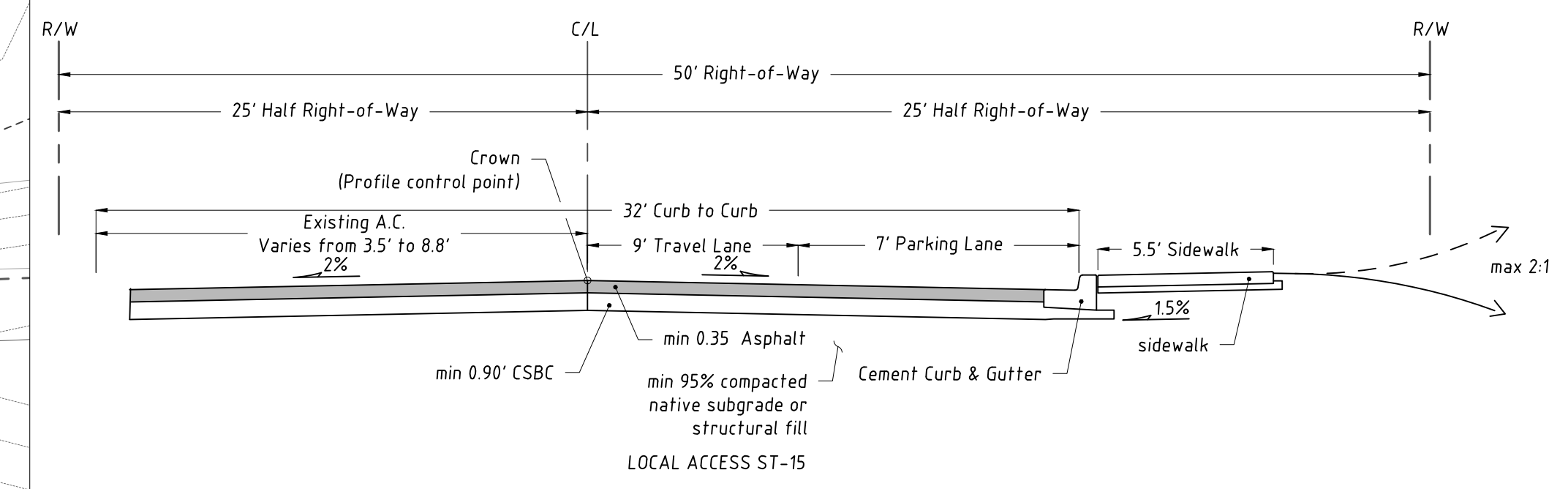
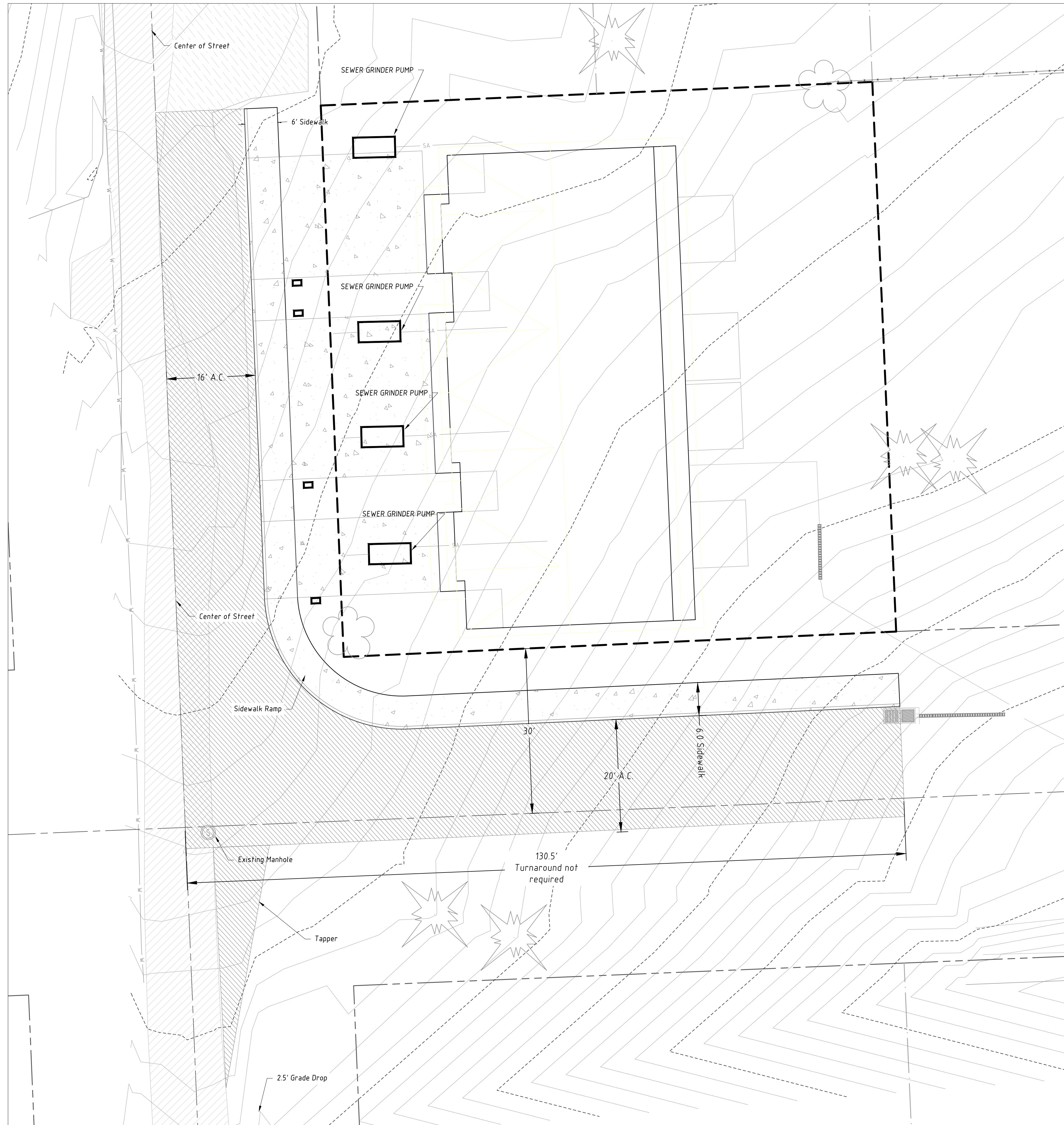
Project: ###  
 Date: 4/5/2023  
 Drafted:  
 Designed: PCW  
 Page: ### of ###

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Revisions:

### General Information and Land Use

Parcel SN: 63620-000  
 Address: No Address Available,  
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 Zone: RP (La Center Residential/Professional)  
 LCMC 18.145.040  
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 Net area: 0.23 AC (10,004+ SF)  
 Max density: 4 du < (?? ?? du) = 14 du/AC x .23 AC  
 Min density: 4 du > (?? ?? du) = 8 du/AC x .23 AC



PROPOSED PUBLIC IMPROVEMENT PLAN  
**ADVANCED BUILDERS FOUR PLEX**



**ENGINEERING NORTHWEST**  
 CONSULTING ENGINEERS & PLANNERS  
 6168 NW HWY 99 STE 100, VANCOUVER 98665  
 (360) 931-3122