

# GARAGE TO OFFICE CONVERSION

## LA CENTER, WASHINGTON

FEBRUARY 2025

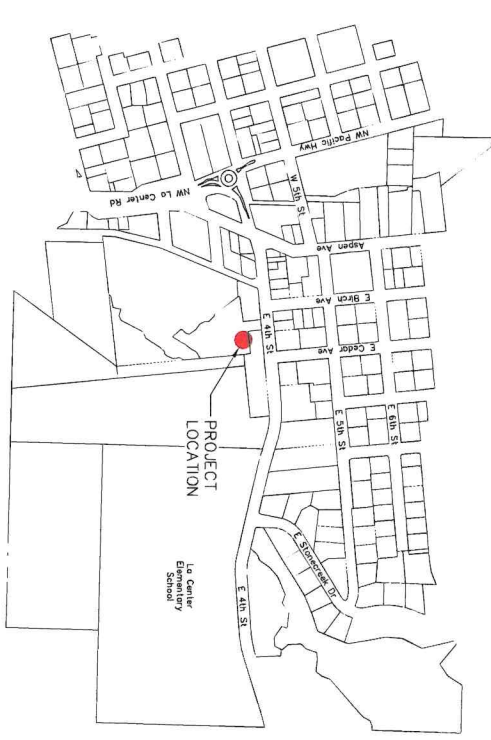
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**PROJECT OWNER**  
 CITY OF LA CENTER  
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**STRUCTURAL ENGINEER**  
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**GENERAL NOTES:**

ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP SHALL CONFORM TO THE CITY OF LA CENTER ENGINEERING STANDARDS AND SPECIFICATIONS OR STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, AS PROVIDED BY WSDOT AND APPLICABLE. ALL MATERIALS AND WORK ARE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF LA CENTER'S DEPARTMENT OF PUBLIC WORKS (360) 263-7665.

THE CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF LA CENTER PUBLIC WORKS DEPARTMENT PRIOR TO COMMENCING CONSTRUCTION.

ANY DEVIATIONS FROM THE PLANS WILL REQUIRE A WRITTEN REQUEST FROM THE CONTRACTOR AND APPROVAL BY THE PUBLIC WORKS DIRECTOR.

THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND UTILITIES BEFORE STARTING CONSTRUCTION.

CONTRACTOR SHALL KEEP AN APPROVED SET OF PLANS ON THE PROJECT SITE AT ALL TIMES.

ALL PRE-EXISTING MATERIAL SHALL MEET THE APPROPRIATE SPECIFICATIONS IN THE CITY OF LA CENTER STANDARDS, BEFORE ANY NATIVE MATERIAL IS USED. LABORATORY TEST RESULTS SHALL BE PROVIDED TO THE CITY INSPECTOR INDICATING THAT THE MATERIAL MEETS THE SPECIFICATIONS.

PILE BIDDING AND BACKFILL SHALL BE PER CITY OF LA CENTER STANDARDS. BACKFILL MATERIAL SHALL BE COMPACTED TO 95% MINIMUM RELATIVE DENSITY.

SHOULD ANY ITEM OF ARCHAEOLOGICAL INTEREST BE FOUND DURING DEVELOPMENT, YOU ARE REQUIRED TO STOP WORK AND NOTIFY THE CITY OF LA CENTER IMMEDIATELY. FAILURE TO DO SO COULD RESULT IN A FELLOW CONVICTION UNDER RCW 9A.02.010.

AT THE END OF EACH WORK DAY THE CONTRACTOR SHALL CLEAN UP THE PROJECT AREA AND LEAVE IT IN A NEAT AND SECURED MANNER. UPON COMPLETION, THE CONTRACTOR SHALL LEAVE THE PROJECT AREA FREE OF DEBRIS AND UNUSED MATERIAL.

THE CONTRACTOR SHALL PRUNE ALL VEGETATION, AS NECESSARY, AWAY AND UP FROM THE WORK AS WELL AS ANY ROOT PROTRUSIONS AS DETERMINED BY THE ENGINEER. THE CONTRACTOR SHALL PROTECT ALL EXISTING LANDSCAPING THAT IS TO REMAIN. THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO PROTECT ANY EXISTING CONCRETE CURBS AND SIDEWALKS TO REMAIN AND SHALL TAKE EVERY REASONABLE EFFORT TO PROTECT ANY EXISTING UTILITIES TO REMAIN.

ALL NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES TO REMAIN. ALL REQUIRED UTILITIES WILL BE RELOCATED IN ACCORDANCE WITH THE CITY OF LA CENTER STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF EXISTING UTILITY LINES DAMAGED OR DESTROYED THROUGH INCARCERATION AND/OR MAINTENANCE.

CONTRACTOR SHALL REPORT ALL DAMAGES IMMEDIATELY TO THE PUBLIC WORKS DIRECTOR'S OFFICE OR CONTACT THE INSPECTOR ON THE JOB.



COVER  
**GARAGE TO OFFICE CONVERSION**  
 LA CENTER, WASHINGTON

**HHPRI**  
 Harper Houf Peterson Righellis Inc.  
 305 S. Spokane Street, Suite 200, Portland, OR 97202  
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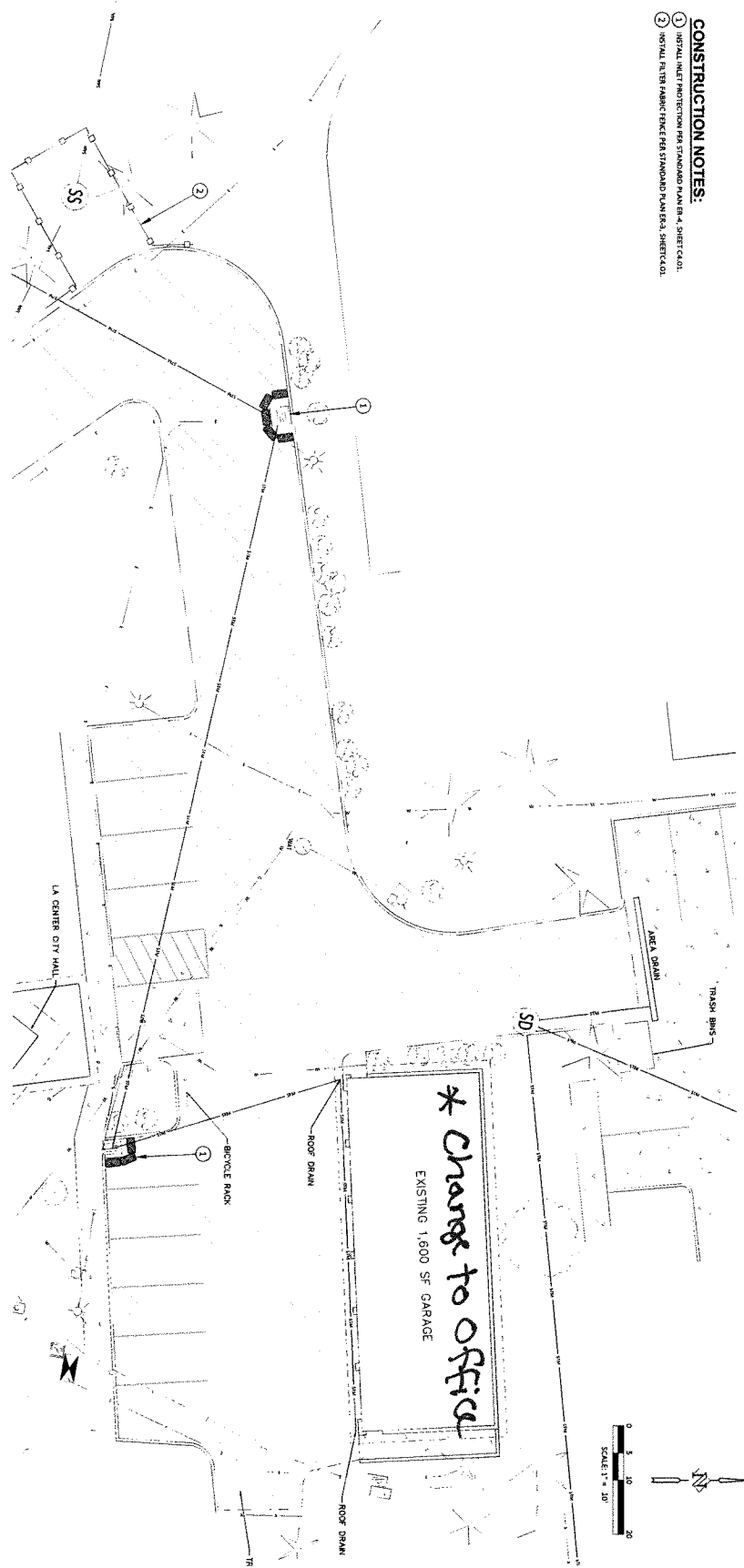


DESIGNED:	DJV
DRAWN:	DJV
CHECKED:	BMH
DATE:	2/15/2025

NO.	DATE	DESCRIPTION

SHEET NO.  
**G1.01**  
 ZONE NO. CLC-05

- CONSTRUCTION NOTES:**
- 1) INITIAL INLET PROTECTION PER STANDARD PLAN ENR-4, SHEET C-01.
  - 2) INITIAL FILTER FABRIC FENCE PER STANDARD PLAN ENR-4, SHEET C-01.



**EXISTING LEGEND:**

SS	SANITARY SEWER LINE
SS	STORM SEWER LINE
W	WATER LINE
G	GAS LINE
T	TELEPHONE LINE
E	ELECTRIC LINE
U	UTILITY LINE IS BELIEVED TO LOCATED OR UNKNOWN

SS	SANITARY SEWER MANHOLE
SS	CLEANOUT
SD	STORM SEWER MANHOLE
CB	CATCH BASIN
WB	WATER VALVE
WV	FIRE HYDRANT

LP	LIGHT POLE
SP	SINGLE POST SIGN
TR	TELEPHONE RISER
MB	MAN-BOX
EB	ELECTRIC BOX
SB	SHED / BUSH (SIZE AS NOTED)

WM	WATER METER
IB	IRIGATION BOX
PM	POWER METER
PR	POWER RISER
PS	POWER STAND PIPE
PC	POWER CABINET

CT	COMMERCIAL TREE
OT	ORCHARDS TREE
HS	POWER TRANSFORMER

CS	EXISTING CONCRETE SURFACE
AS	EXISTING ASPHALT SURFACE
TS	EXISTING TACTILE SURFACE
GS	EXISTING GRAVEL SURFACE

NOTE: SYMBOLS SHOWN HEREON ARE FOR GRAPHICAL REPRESENTATION PURPOSES OF THE ACTUAL PHYSICAL IMPROVEMENTS THAT THEY REPRESENT IN CONSTRUCTION. THE ROTATION, ETC. MAY VARY ALMOST ITEMS SHOWN BY THE SAME SYMBOL.

FORM NO. CLC-05

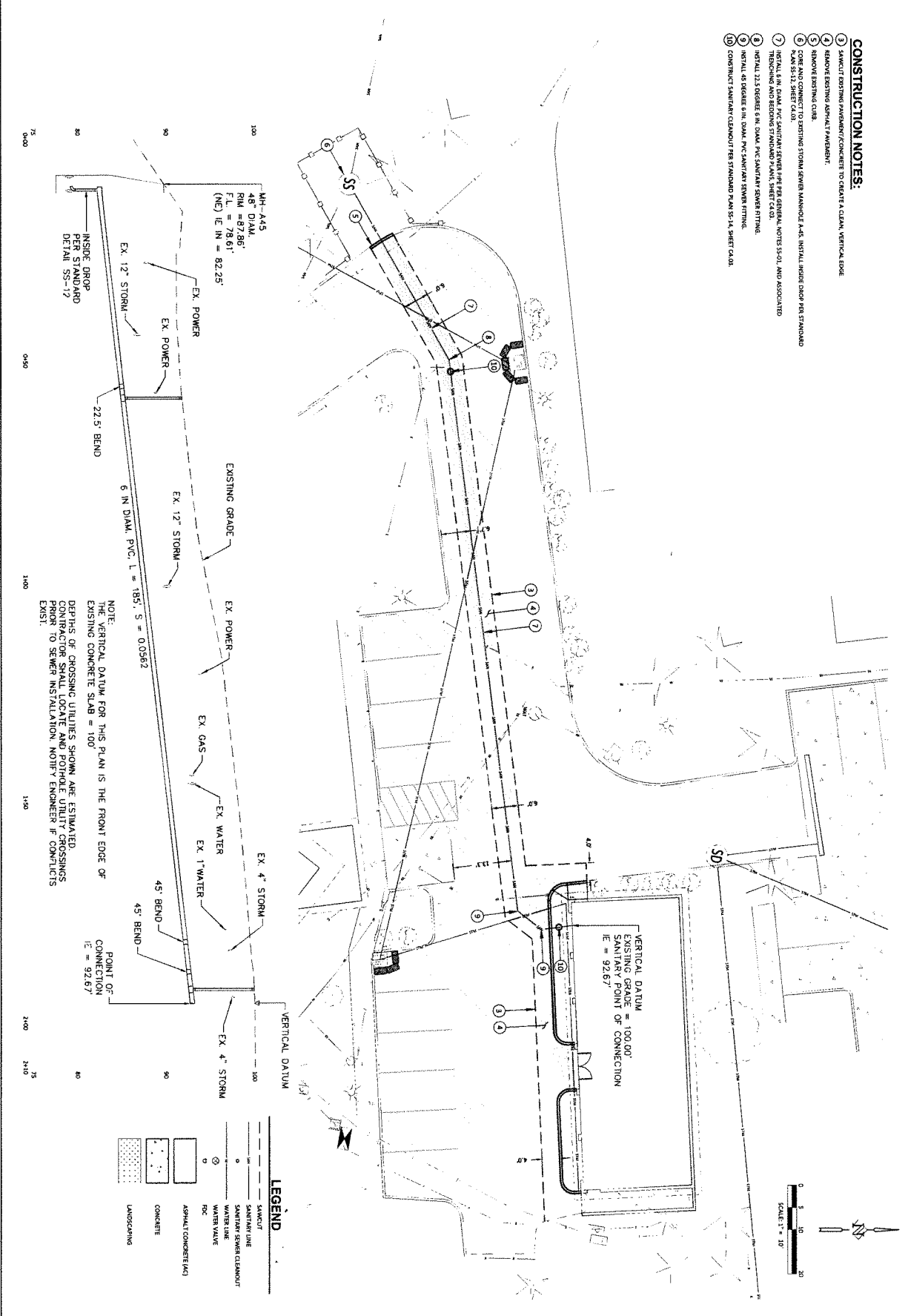
**C1.01**

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NO.	DESCRIPTION
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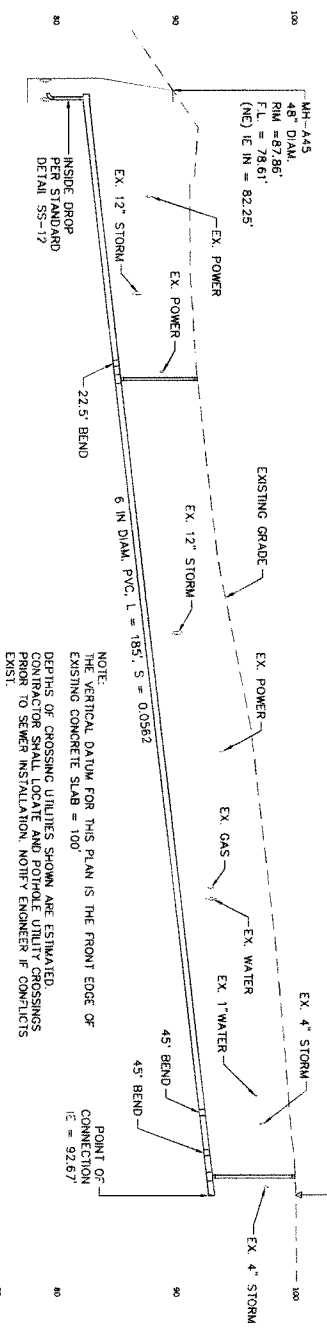


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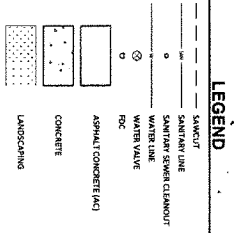
**EROSION CONTROL PLAN**  
**GARAGE TO OFFICE CONVERSION**  
 LA CENTER, WASHINGTON



- CONSTRUCTION NOTES:**
- 3 SAWCUT EXISTING PAVEMENT/CONCRETE TO CREATE A CLEAN, VERTICAL LODGE
  - 4 REMOVE EXISTING ASPHALT PAVEMENT.
  - 5 REMOVE EXISTING CURB.
  - 6 CORN AND CONNECT TO EXISTING STORM SEWER MANHOLE A-45. INSTALL INSIDE DROP PER STANDARD PLAN SS-12, SHEET CA.B.
  - 7 INSTALL 6 IN. DIAM. PVC SANITARY SEWER PIPE PER GENERAL NOTES S-3.01 AND ASSOCIATED TRENCHING AND BEDDING STANDARD PLANS, SHEET CA.B.
  - 8 INSTALL 22.5 DEGREE 6 IN. DIAM. PVC SANITARY SEWER FITTING.
  - 9 INSTALL 45 DEGREE 6 IN. DIAM. PVC SANITARY SEWER FITTING.
  - 10 CONSTRUCT SANITARY CLEANOUT PER STANDARD PLAN SS-14, SHEET CA.B.



NOTE:  
 THE VERTICAL DATUM FOR THIS PLAN IS THE FRONT EDGE OF  
 EXISTING CONCRETE SLAB = 100'  
 DEPTHS OF CROSSING UTILITIES SHOWN ARE ESTIMATED.  
 VERIFY ALL UTILITIES PRIOR TO SEWER INSTALLATION. NOTIFY ENGINEER IF CONFLICTS  
 EXIST.



75 80 90 100 0+00 0+50 1+00 1+50 2+00 2+10 75

SHEET NO. **C2.01**

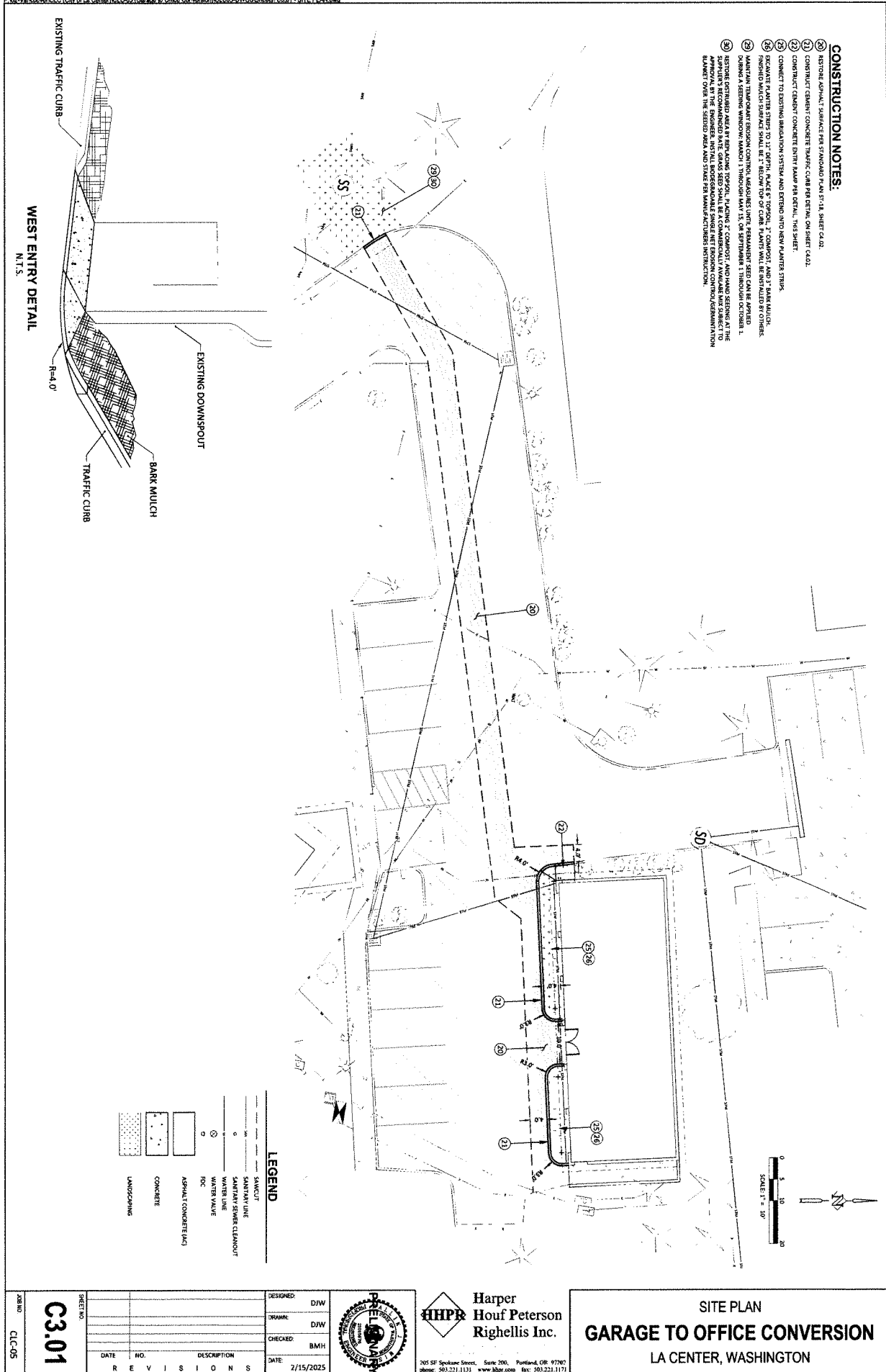
258 NO. CLC-05

DESIGNED:	DJW
DRAWN:	DJW
CHECKED:	BMH
DATE:	2/15/2025
NO.	DESCRIPTION
R E V I S I O N S	

**HHP** Harper Houf Peterson Righellis Inc.

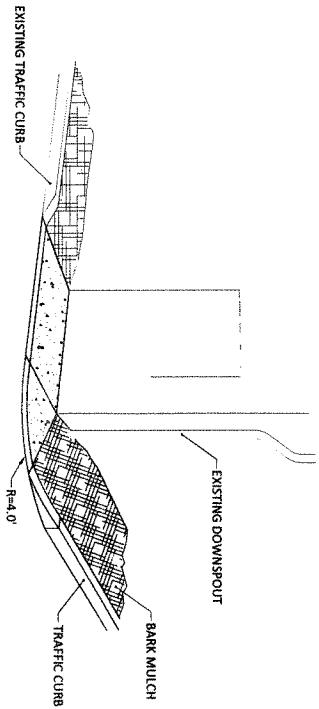
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UTILITY PLAN  
**GARAGE TO OFFICE CONVERSION**  
 LA CENTER, WASHINGTON



- CONSTRUCTION NOTES:**
- 19 RESTORE ASPHALT SURFACE PER STANDARD PLAN S1.1A, SHEET C-02.
  - 20 CONSTRUCT CEMENT CONCRETE TRAFFIC CURB PER DETAIL, ON SHEET C-02.
  - 21 CONSTRUCT CEMENT CONCRETE ENTRY RAMP PER DETAIL, THIS SHEET.
  - 22 CONNECT TO EXISTING IRRIGATION SYSTEM AND EXTEND INTO NEW PLANTER STRIPS.
  - 23 REPLACE PLANTER STRIPS TO 1" DEPTH, PLACE 6" TOPSOIL, 2" COMPOST, AND 2" BARK MULCH. FINISHED MULCH SURFACE SHALL BE 1" BELOW TOP OF CURB. PLANTS WILL BE INSTALLED BY OTHERS.
  - 24 MAINTAIN TRAMPOLIANT ROOM CONTROL MEASURES UNIT. PERMANENT SEED CAN BE APPLIED DURING A SEEDING WINDOW, MARCH 1 THROUGH MAY 15, OR SEPTEMBER 1 THROUGH OCTOBER 1.
  - 25 RESTORE DISTURBED AREA BY REPLACING TOPSOIL, PLACING 2" COMPOST, AND HAND SEEDING AT THE APPROX. AT THE ENDANGER. INSTALL BLOSSOMING ANEMONE THROUGH COMPOST/SEEDMANTION BLANKET OVER THE SEEDS AREA AND STAKE PER MANUFACTURERS INSTRUCTION.

**WEST ENTRY DETAIL**  
N.T.S.



**LEGEND**

	SANCUIT
	SANTIARY LINE
	SANTIARY SEWER CLEANOUT
	WATER LINE
	WATER VALVE
	FSC
	ASPHALT (CONCRETE LND)
	CONCRETE
	LANDSCAPING

SHEET NO. **C3.01**  
JOB NO. CLC-05

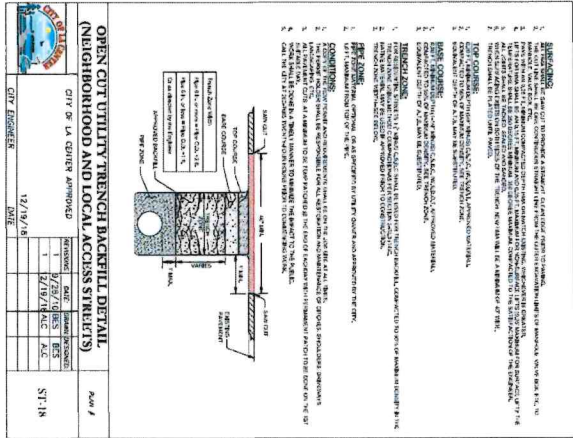
DATE	NO.	DESCRIPTION

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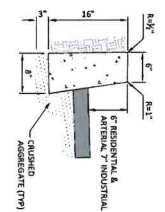
**SITE PLAN**  
**GARAGE TO OFFICE CONVERSION**  
LA CENTER, WASHINGTON





- NOTES:**
1. CONCRETE SHALL BE 3000 PSI MIN. (CLASS III, 3" SLUMP)
  2. EXPANSION JOINTS TO PARALLEL OR PERPENDICULAR TO EXISTING PATTERNS.
  3. 1/2" EXPANSION JOINTS SHALL BE PLACED AT 5' MAXIMUM IN EACH DIRECTION. 1/2" CUT JOINTS TO BE PLACED AT 5' MAXIMUM SPACING.
  4. CURB SHALL BE PLACED ON 3" (MIN) CRUSHED AGGREGATE (C7A) ON 18" OF 1/2" SAND.
  5. CURB TO BE RAUPLY FINISHED.
  6. ALL EXPOSED EDGES SHALL BE SAWCUT.

**STANDARD CURB**



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DATE:	2/15/2025

NO.	DATE	DESCRIPTION



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**SITE DETAILS**  
**GARAGE TO OFFICE CONVERSION**  
 LA CENTER, WASHINGTON

SHEET NO. **C4.02**  
 JOB NO. CLC-05

**SANITARY SEWER GENERAL NOTES:**

1. ALL MATERIALS, WORKMANSHIP AND INSTALLATION OF SANITARY SEWER SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF LA CENTER STANDARDS AND SPECIFICATIONS AND THE LA CENTER SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWER SYSTEMS. THE MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER. THE MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER.
2. ALL SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWER SYSTEMS. THE MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER.
3. THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWER SYSTEMS. THE MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER.
4. ALL THE WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWER SYSTEMS. THE MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER.
5. ALL THE WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWER SYSTEMS. THE MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER.
6. ALL THE WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWER SYSTEMS. THE MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER.
7. ALL THE WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWER SYSTEMS. THE MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER.
8. ALL THE WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWER SYSTEMS. THE MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER.
9. ALL THE WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWER SYSTEMS. THE MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER.
10. ALL THE WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWER SYSTEMS. THE MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER.

**GENERAL SANITARY SEWER NOTES**

CITY OF LA CENTER APPROVED

*Mark Harper, PE*  
CITY ENGINEER

REVISION	DATE	DESCRIPTION
1	7-12-21	SS-1

SS-1

**INSIDE DROP MANHOLE CONNECTION**

NOTE:  
1. MAXIMUM ONE ASSEMBLY PER MANHOLE.  
2. ASSEMBLY SHALL BE USED ONLY WHEN NECESSARY.

CITY OF LA CENTER APPROVED

*Mark Harper, PE*  
CITY ENGINEER

REVISION	DATE	DESCRIPTION
1	7-12-21	SS-12

SS-12

**PIPE BEDDING (RIGID AND FLEXIBLE PIPE)**

LEGEND:  
 BEDDING: 1. 1/2" SAND  
 2. 1/2" SAND  
 3. 1/2" SAND  
 4. 1/2" SAND  
 5. 1/2" SAND  
 6. 1/2" SAND  
 7. 1/2" SAND  
 8. 1/2" SAND  
 9. 1/2" SAND  
 10. 1/2" SAND

NOTES:  
1. THE BEDDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWER SYSTEMS. THE MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER.
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- 4. THE BEDDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWER SYSTEMS. THE MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER.

CITY OF LA CENTER APPROVED

*Mark Harper, PE*  
CITY ENGINEER

REVISION	DATE	DESCRIPTION
1	7-12-21	SS-5

SS-5

**STANDARD SEWER CLEANOUT**

CITY OF LA CENTER APPROVED

*Mark Harper, PE*  
CITY ENGINEER

REVISION	DATE	DESCRIPTION
1	7-12-21	SS-14

SS-14

**MANHOLE CONNECTION DETAILS**

TYPE OF CONNECTIONS APPROVED:  
 1. CONCRETE PIPE ADAPTER WITH MANHOLE GROUT.  
 2. CONCRETE PIPE ADAPTER WITH MANHOLE GROUT.  
 3. FIBERGLASS MANHOLE ADAPTER.  
 4. CONCRETE PIPE ADAPTER WITH MANHOLE GROUT.

NOTES:  
1. THE CONNECTION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWER SYSTEMS. THE MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER.
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- 4. THE CONNECTION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWER SYSTEMS. THE MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER.

CITY OF LA CENTER APPROVED

*Mark Harper, PE*  
CITY ENGINEER

REVISION	DATE	DESCRIPTION
1	7-12-21	SS-9

SS-9

DESIGNED: DJW  
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REVISIONS

NO.	DATE	DESCRIPTION
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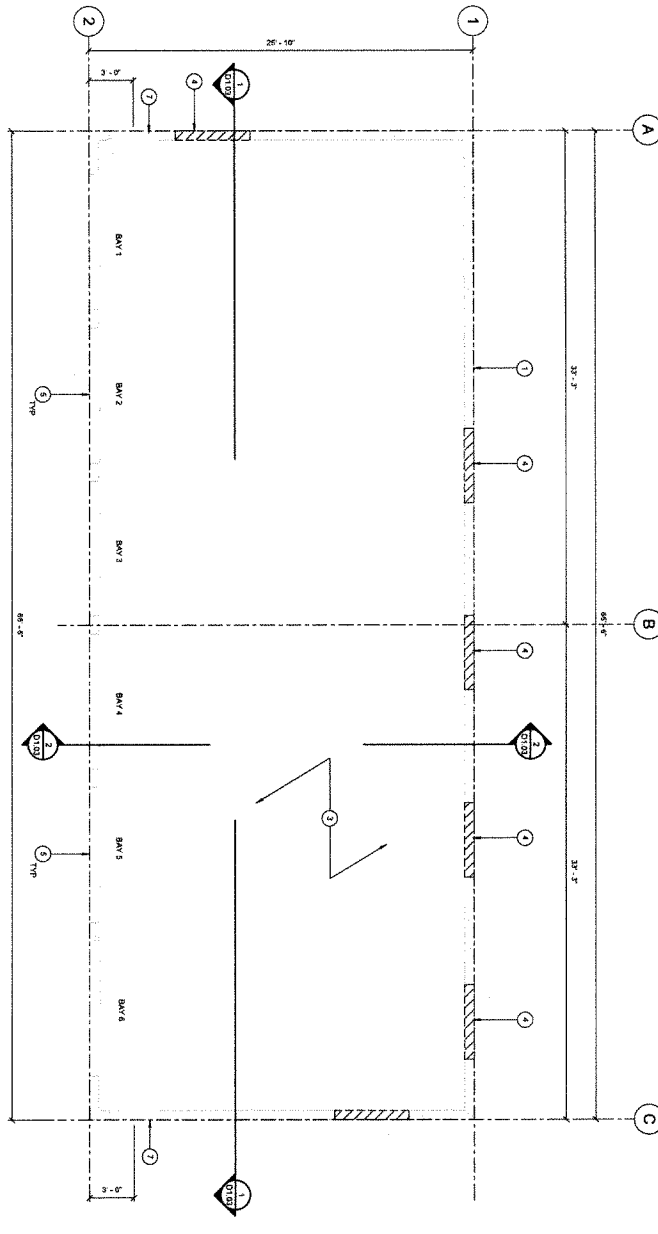
**C4.03**

CLC-05

**HPPI**  
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SANITARY DETAILS  
**GARAGE TO OFFICE CONVERSION**  
 LA CENTER, WASHINGTON

1  
EXISTING FLOOR PLAN  
1/8" = 1'-0"



DEMOLITION KEYNOTES	
1	10' 8" CMU WALL
2	REMOVE TRUSSES AT 24" O.C. WITH WOOD SHEATHING & METAL ROOFING ABOVE (CLAM FILE ROOMING REF. L202)
3	10' CONCRETE SLAB ON GRADE, BOUND TO GARAGE DOOR FRAMEWORKS 15'
4	NEW OPENING IN (E) WALL
5	REMOVE EXISTING GARAGE DOOR & ASSOCIATED HARDWARE
6	REMOVE EXISTING GARAGE SLAB ON GRADE
7	REMOVE EXISTING ACCESS DOORS

JOB NO. C/CAS

SHEET NO. D1.01

DATE	NO.	DESCRIPTION
	1	

DESIGNED:	JAS
DRAWN:	HPFR
CHECKED:	JAS
DATE:	02/17/2025

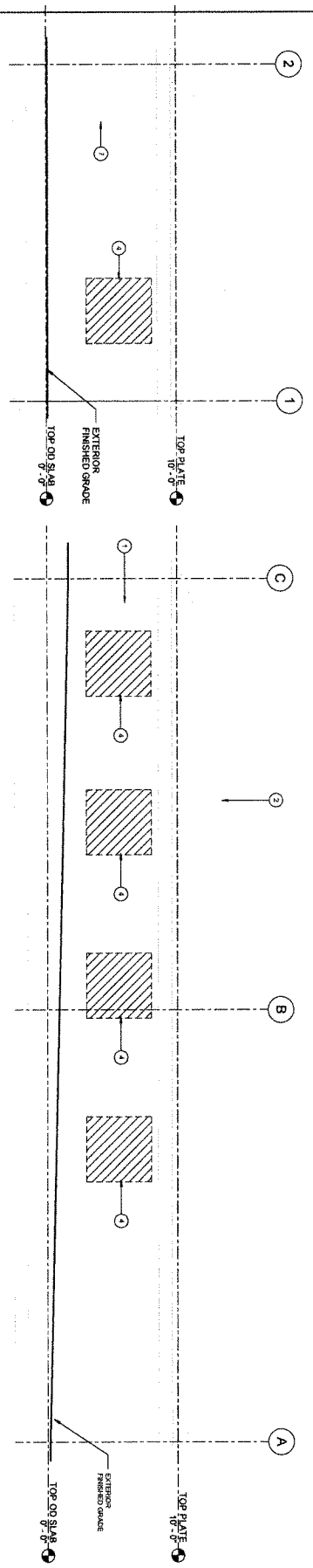
**PRELIMINARY**

**HPFR** Harper Houf Peterson Righellis Inc.  
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DEMOLITION PLAN  
 GARAGE TO OFFICE CONVERSION  
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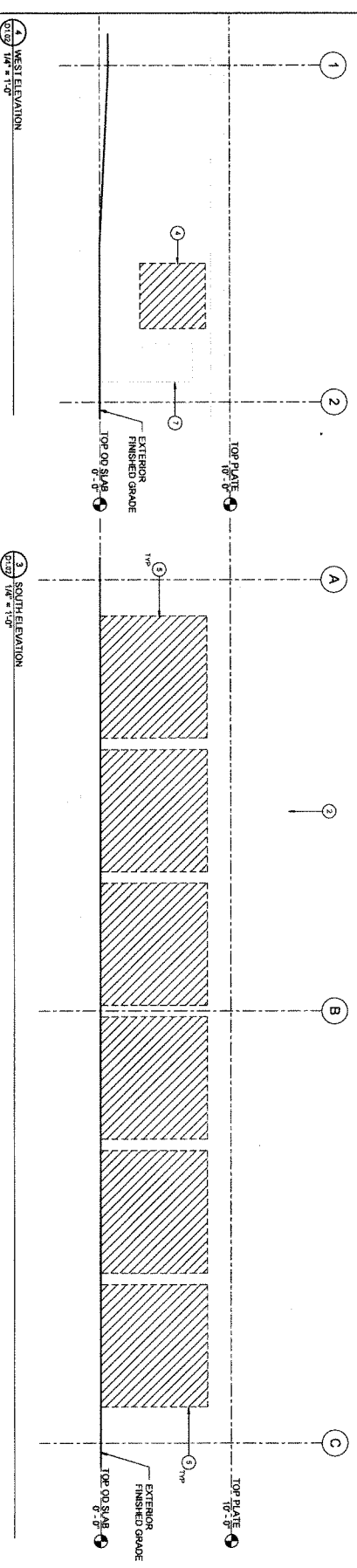


DEMOLITION KEYNOTES	
1	10' x 8' GYM WALL
2	REMOVE TRUSSES AT 24' O.C. WITH WOOD SHEATHING & METAL ROOFING ABOVE (CLAY TILE ROOFING REPLACED IN 2020)
3	10' CONCRETE SLAB ON GRADE. SLAB TO REMAIN ABOVE DOOR THRESHOLDS. 1" MINIMUM GROUND BETWEEN CURB 1 TO CURB 2
4	NEW OPENING IN EXISTING WALL
5	REMOVE EXISTING GARAGE DOOR & ASSOCIATED HARDWARE
6	REMOVE EXISTING GARAGE SLAB ON GRADE
7	REMOVE EXISTING ACCESS DOORS



1 EAST ELEVATION  
1/8" = 1'-0"

2 NORTH ELEVATION  
1/8" = 1'-0"



1 WEST ELEVATION  
1/8" = 1'-0"

3 SOUTH ELEVATION  
1/8" = 1'-0"

DEMOLITION ELEVATIONS  
GARAGE TO OFFICE CONVERSION  
LA CENTER, WASHINGTON

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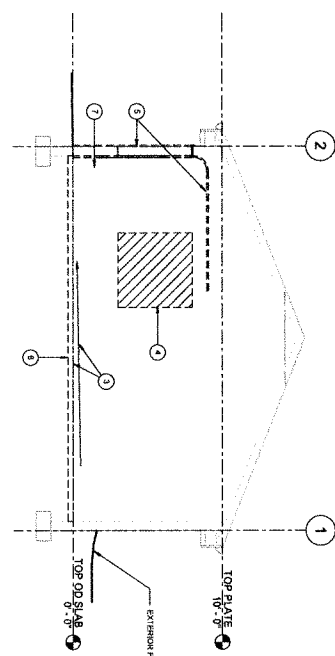
**PRELIMINARY**

DESIGNED	JAS
DRAWN	CAH
CHECKED	JAS
DATE	11/15/2024

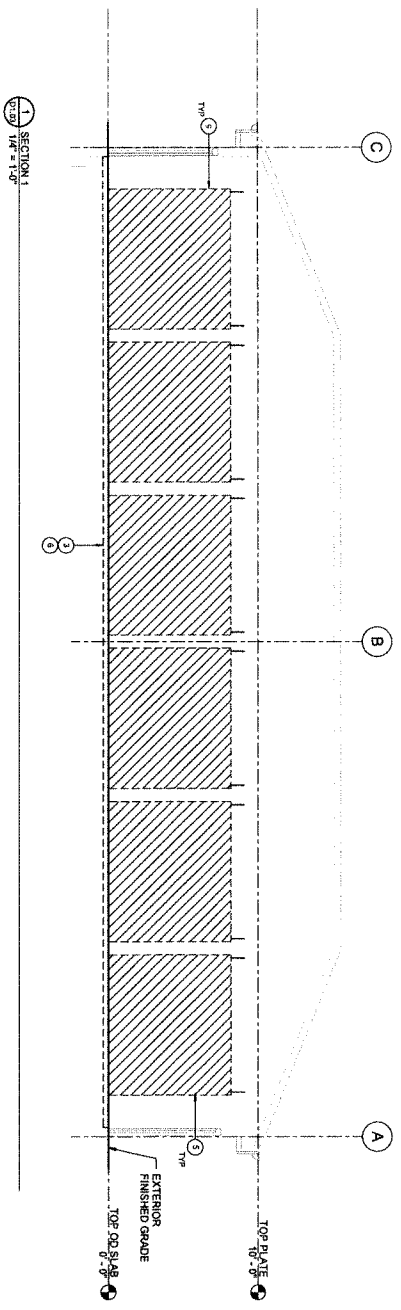
REVISIONS	
NO.	DESCRIPTION
1	

SHEET NO. **D1.02**  
JOB NO. CLC-05

DEMOLITION KEYNOTES	
1.	CLF CHU WALL
2.	REMOVE BRUSSES AT A-C WITH WOOD BRACING & METAL ROOFING ABOVE CLAY TILE ROOFING REPLACED IN 2001
3.	REPLACE CONCRETE SLAB ON GRADE BETWEEN EXISTING DOOR ASSEMBLY 1'S
4.	NEW OPENING IN IE WALL
5.	REMOVE EXISTING GARAGE DOOR & ASSOCIATED HARDWARE
6.	REMOVE EXISTING GARAGE SLAB ON GRADE
7.	REMOVE EXISTING ACCESS DOORS



SECTION 2  
1/8" = 1'-0"



SECTION 1  
1/8" = 1'-0"

DEMOLITION SECTIONS  
GARAGE TO OFFICE CONVERSION  
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**HP** Harper Houf Peterson Righellis Inc.  
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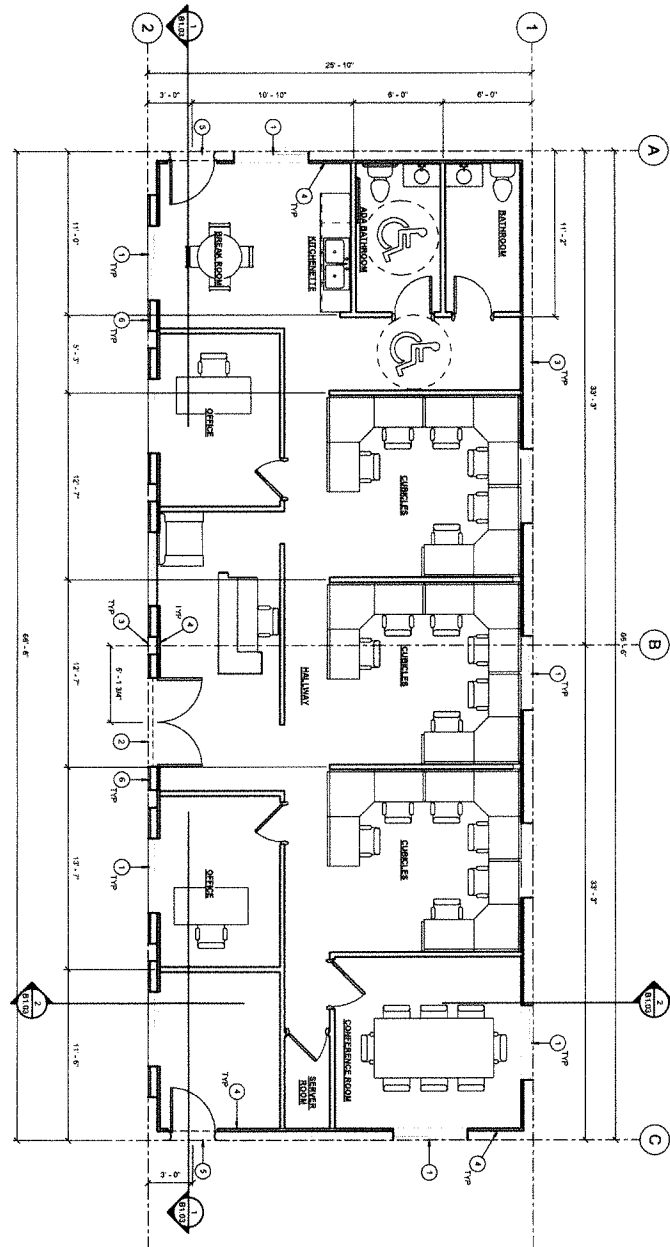
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DESIGNED:	Designer
DRAWN:	Author
CHECKED:	Checker
DATE:	07/24/14

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SHEET NO. D1.03  
JOB NO. C1-C-05

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 A  
 PROPOSED FLOOR PLAN OPTION 1  
 1/8" = 1'-0"



KEYNOTES	
1	5000 SERIES WINDOW
2	DOUBLE GLASS ENTRY DOOR
3	EXISTING CMU WALLS
4	INSULATION PARTING WALL
5	NEW ACCESS DOOR
6	PARTIAL WALL WITH VERTICAL REBAR (EXIST' FURNISH AT EXTERIOR FACE)
7	CONCRETE
8	NEW 4" CONCRETE SLAB ON GRADE

SHEET NO.  
 B1.01  
 C.L.C.B.S.

DATE

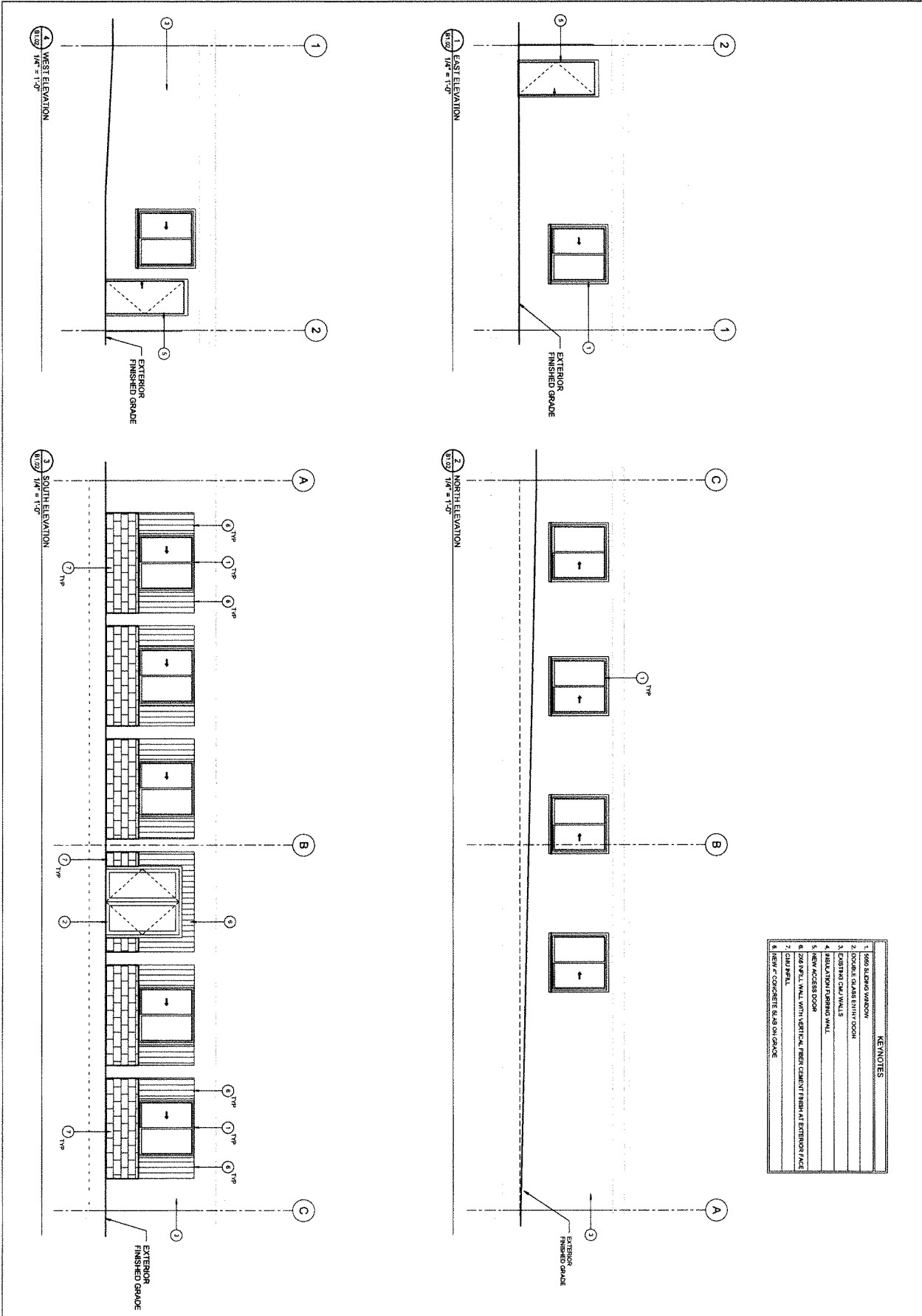
NO.	DATE	DESCRIPTION
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DESIGNED: JAS  
 DRAWN: HHPR  
 CHECKED: JAS  
 DATE: 02/17/2025

**PRELIMINARY**

**HHPR** Harper Houf Peterson Righellis Inc.  
 ENGINEERS • PLANNERS  
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 phone: 503.221.1131 www.hhpr.com fax: 503.221.1171

FLOOR PLAN  
 GARAGE TO OFFICE CONVERSION  
 LA CENTER, WASHINGTON



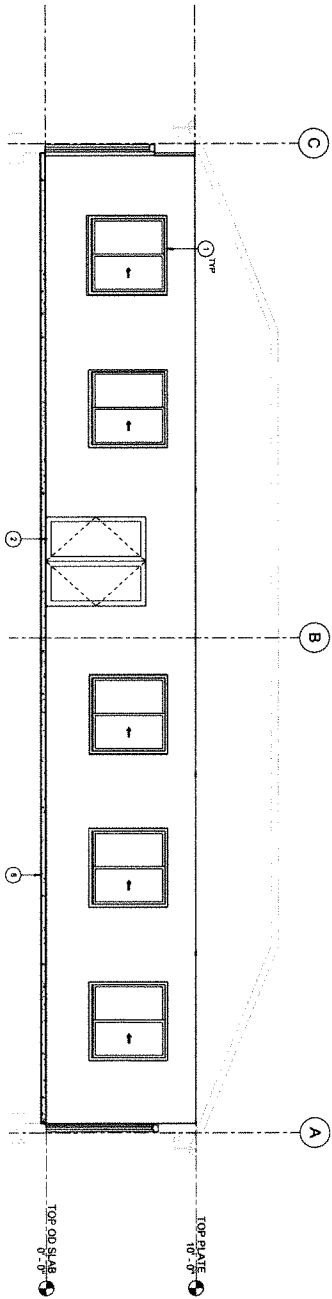
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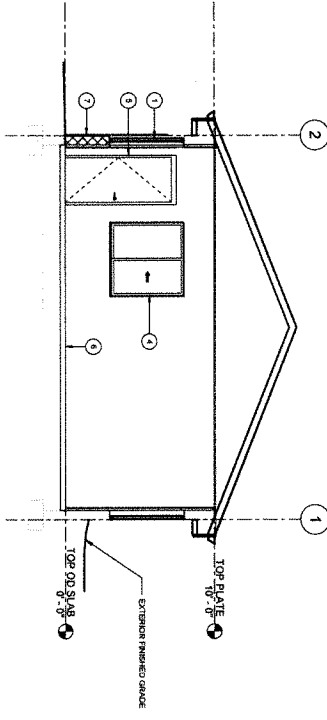
KEYNOTES	
1	860 ALUMINUM WINDOW
2	DOUBLE GLASS ENTRY DOOR
3	EXISTING GAD WALL
4	REINFORCED CONCRETE WALL
5	NEW ACCESS DOOR
6	2x6 WALL WITH VERTICAL FIBER CEMENT FINISH AT EXTERIOR FACE
7	2x4 WALL
8	NEW 4\"/>

<b>B1.02</b> <small>SHEET NO.</small> <small>CLC-05</small>	<small>DESIGNED:</small> JAS <small>DRAWN:</small> H/PR <small>CHECKED:</small> JAS <small>DATE:</small> 02/17/2025	<b>PRELIMINARY</b>	 <b>Harper Houf Peterson Righellis Inc.</b> <small>ENGINEERS • PLANNERS          LANDSCAPE ARCHITECTS • SURVEYORS</small> <small>205 SE Spokane Street - Suite 200 - Portland, OR 97202          phone: 503.221.1133   www.HHP.com   fax: 503.221.1171</small>	<b>ELEVATIONS / SECTIONS</b> <b>GARAGE TO OFFICE CONVERSION</b> <b>LA CENTER, WASHINGTON</b>								
	<table border="1" style="width: 100%;"> <thead> <tr> <th colspan="2">REVISIONS</th> </tr> <tr> <th>DATE</th> <th>NO.</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td></td> <td>1</td> <td></td> </tr> </tbody> </table>			REVISIONS		DATE	NO.	DESCRIPTION		1		
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SECTION 1 CORR. 1  
1/8" = 1'-0"



SECTION 2 CORR. 1  
1/8" = 1'-0"



KEYNOTES	
1	5000 STEELING WINDOW
2	DOUBLE GLASS ENTRY DOOR
3	EXISTING CMU WALLS
4	INSULATION FINISH WALL
5	NEW ACCESS DOOR
6	2X8 W/PL. WALL WITH VERTICAL FINISH CEMENT FINISH AT EXTERIOR FACE
7	CMU WALL
A	NEW 4" CONCRETE SLAB ON GRADE

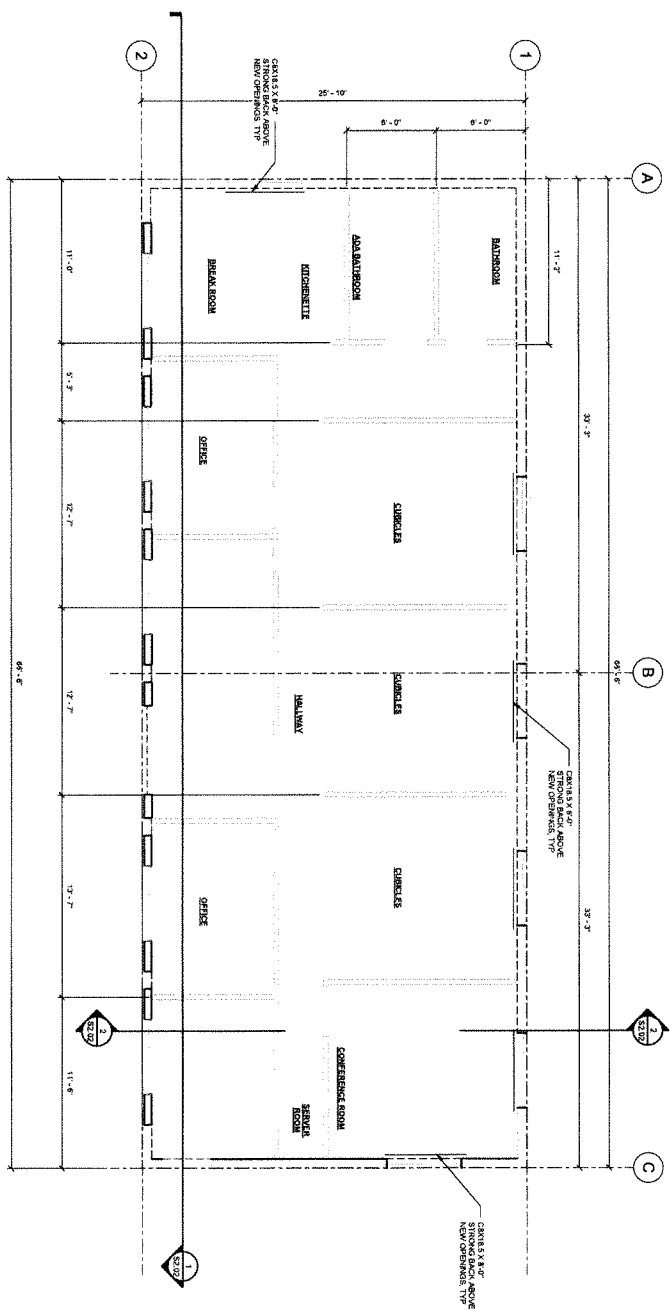
DESIGNED: JAS	<b>PRELIMINARY</b>						
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SHEET NO.  
**B1.03**  
JOB NO. CLC-05

**Harper Houf Peterson Righellis Inc.**  
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ELEVATIONS / SECTIONS  
**GARAGE TO OFFICE CONVERSION**  
LA CENTER, WASHINGTON

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SHEET NO.  
 S1.01  
 JOB NO. CLC-08

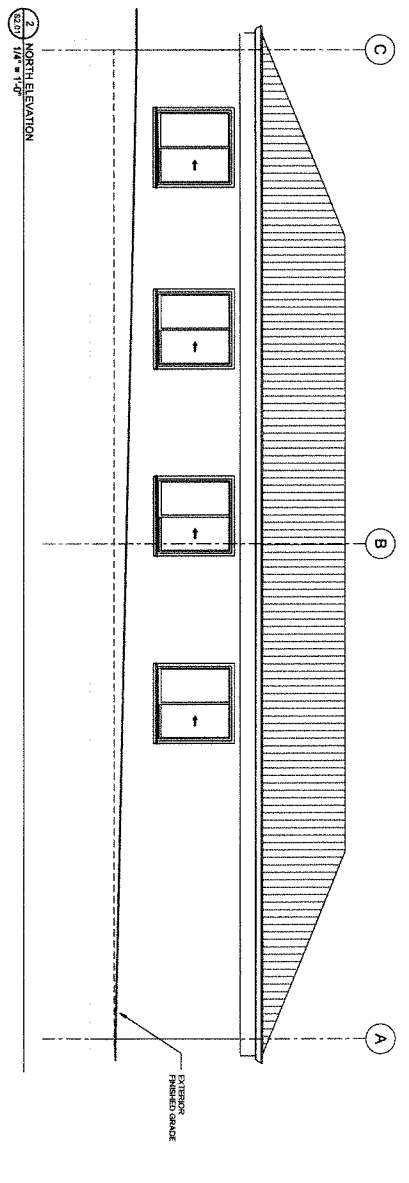
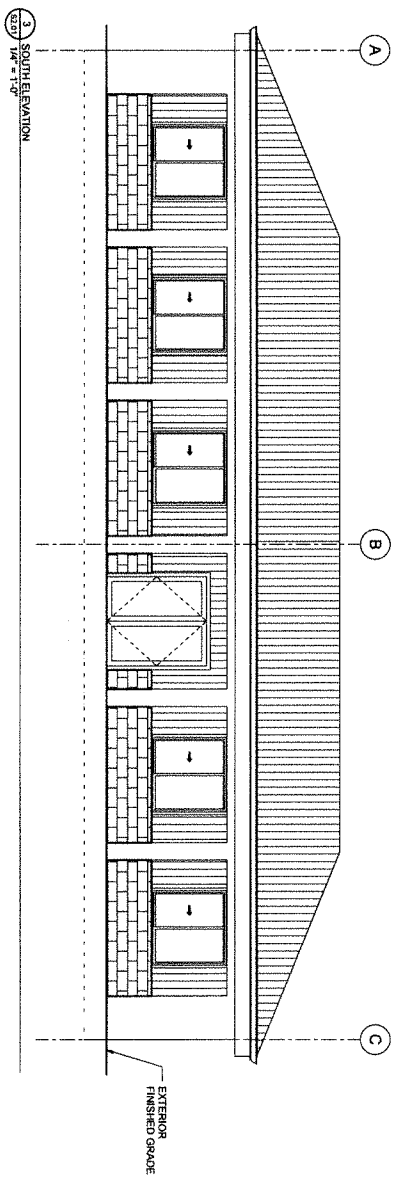
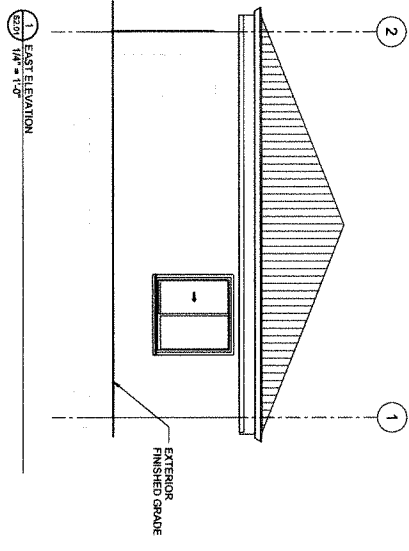
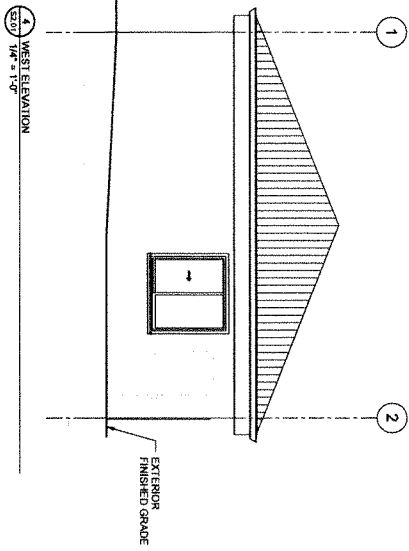
NO.	DATE	DESCRIPTION
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DESIGNED:	JAS
DRAWN:	HPFR
CHECKED:	JAS
DATE:	02/17/2025

**PRELIMINARY**

**HPFR Harper Houf Peterson Righellis Inc.**  
 ENGINEERS • PLANNERS  
 LANDSCAPE ARCHITECTS • SURVEYORS  
 505 SE Spokane Street, Suite 200, Portland, OR 97202  
 phone: 503.221.1111 www.hpfr.com fax: 503.221.1171

STRUCTURAL FLOOR PLAN  
 GARAGE TO OFFICE CONVERSION  
 LA CENTER, WASHINGTON



SHEET NO. **S2.01**  
 DATE NO. DESCRIPTION  
 REVISIONS

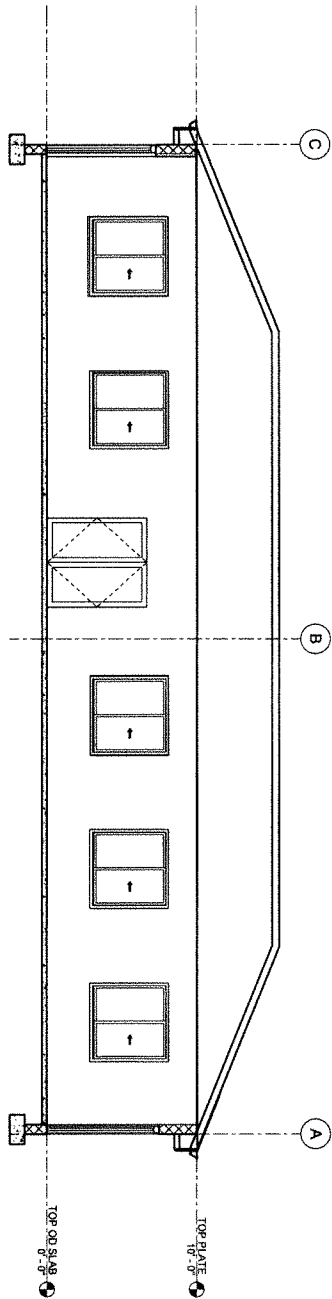
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**PRELIMINARY**

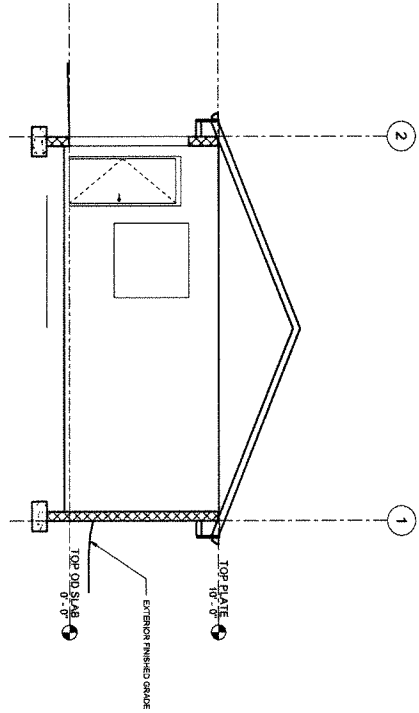
**Harper Houf Peterson Righellis Inc.**  
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**STRUCTURAL ELEVATIONS / SECTIONS**  
**GARAGE TO OFFICE CONVERSION**  
 LA CENTER, WASHINGTON

SECTION 1 Elev. 1 Copy 1  
1/4" = 1'-0"



SECTION 2 Elev. 1 Copy 1  
1/4" = 1'-0"



SHEET NO.	S2.02	DATE	DESIGNED	JAS
			DRAWN	HHPR
REVISIONS	NO	DESCRIPTION	CHECKED	JAS
	1		DATE	02/17/2025

**PRELIMINARY**

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ELEVATIONS / SECTIONS  
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LA CENTER, WASHINGTON