

SHORT PLAT

LOCATED IN A PORTION OF BREZEE'S ADDITION (A-22)
 IN THE SW 1/4 OF THE NE 1/4
 SECTION 3, T. 4 N., R. 1 E., W.M.
 CITY OF LA CENTER, CLARK COUNTY, WASHINGTON

CITY OF LA CENTER SHORT PLAT
 PORTION 1/4 OF 1/4; SECTION 3, TWP. 4 N. RGE. 1 E. W.M.
 ASSESSOR'S PARCEL NO.(S) OF ORIGINAL TRACT, TAX LOT(S) _____
 SERIAL NO. _____; SHORT PLAT FILE: _____

CLARK COUNTY HEALTH DEPARTMENT

THIS SHORT PLAT IS APPROVED IN GENERAL ONLY. ALL LAND-USES MUST COMPLY WITH THE RULES AND REGULATIONS IN EFFECT AT THE TIME OF IMPLEMENTATION AND/OR PERMIT APPLICATION

- ___ AN APPROVED MUNICIPAL WATER SUPPLY SYSTEM IS REQUIRED
- ___ AN APPROVED SMALL PUBLIC WATER SUPPLY SYSTEM IS REQUIRED
- ___ LOTS IN THE PLAT MAY BE SERVED BY INDIVIDUAL WATER SYSTEMS, SUBJECT TO HEALTH DEPARTMENT APPROVAL.
- ___ AN APPROVED PUBLIC SEWER SYSTEM IS REQUIRED
- ___ LOTS IN THIS PLAT MAY BE SERVED BY INDIVIDUAL ON-SITE SEWAGE TREATMENT SYSTEMS, SUBJECT TO HEALTH DEPARTMENT APPROVAL.

COUNTY HEALTH OFFICER _____

CITY OF LA CENTER

MAYOR _____ DATE: _____

CITY ENGINEER _____ DATE: _____

FINANCE DIRECTOR _____ DATE: _____

CLARK COUNTY FIRE MARSHALL

FIRE MARSHAL _____ DATE: _____

ASSESSOR

THIS PLAT MEETS THE REQUIREMENTS OF R.C.W. 58.17.170 LAWS OF WASHINGTON TO BE KNOWN AS NEAL SHORT PLAT NO. _____ IN THE COUNTY OF CLARK, STATE OF WASHINGTON

COUNTY ASSESSOR _____ DATE: _____

AUDITOR'S CERTIFICATE:

FILED FOR RECORD THIS _____ DAY OF _____, 2016 IN BOOK _____ OF SURVEYS PAGE _____, AT THE REQUEST OF JAMES M. KLEIN, REGISTERED LAND SURVEYOR, NO. 42690. AUDITOR'S FILE NO. _____

DEPUTY AUDITOR _____ DATE _____

SURVEYOR'S CERTIFICATE:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF EXP US SERVICES, INC., SEPTEMBER 2016.

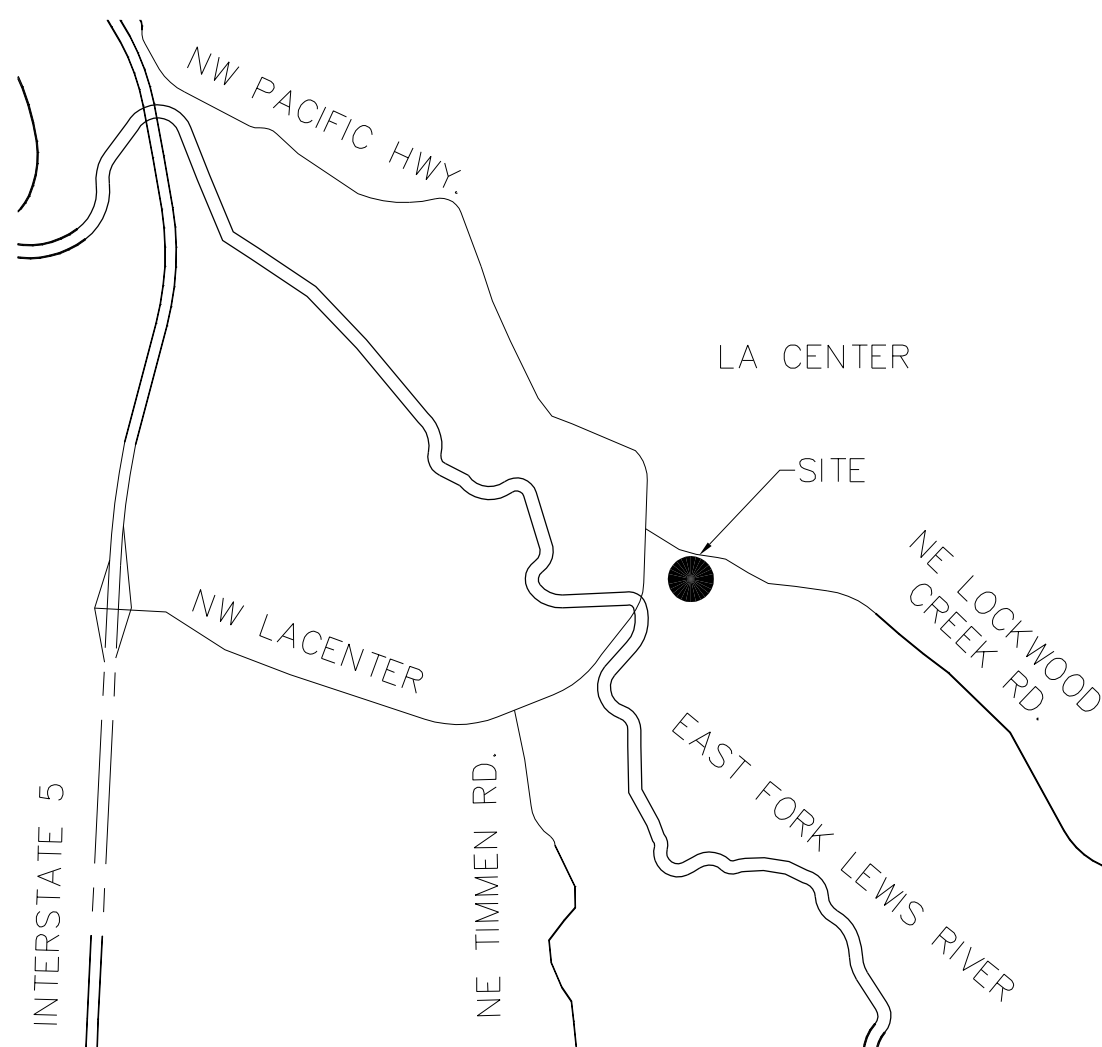
JAMES M. KLEIN _____ DATE _____
 REGISTERED PROFESSIONAL LAND SURVEY #42690



Klein & Associates, Inc.
 ENGINEERING • SURVEYING • PLANNING
 1411 13th Street • Hood River, OR 97031
 TEL: 541-386-3322 • FAX: 541-386-2515

SHEET 1 OF 4
 WILLAMETTE MERIDIAN
 CLARK COUNTY, WASHINGTON

1/4 SEC	T.	R.
<input checked="" type="checkbox"/>	3	4N. 1E.
<input type="checkbox"/>		



VICINITY MAP
 SCALE 1" = 500'

LEGEND

- SET 5/8" X 24" REBAR WITH 1 1/4" YELLOW PLASTIC CAP (KA OR59002 KA WA42690)
- ☒ SET BRASS SCREW WITH WASHER (KA OR59002 KA WA42690)
- ☐ FOUND 5/8" REBAR WITH 1-1/4" RED PLASTIC CAP (KA WA42690 R.O.S. BOOK 64, PAGE 81) VISITED OCTOBER, 2016
- FOUND BRASS SCREW WITH WASHER (KA WA42690 R.O.S. BOOK 64, PAGE 81) VISITED OCTOBER, 2016
- ⊙ FOUND 1/2" REBAR WITH 1" YELLOW PLASTIC CAP (LAWSON LAND SURVEYING, R.O.S. BOOK 19, PAGE 18) VISITED OCTOBER 2016
- ⊙ FOUND 1/2" REBAR WITH 1" YELLOW PLASTIC CAP (LAWSON LAND SURVEYING, R.O.S. BOOK 25, PAGE 181) VISITED OCTOBER 2016
- ⊗ FOUND BRASS SCREW SET IN CONC. SIDEWALK (HAGEDORN, INC, R.O.S. BOOK 45, PAGE 81) VISITED OCTOBER 2016
- FOUND 1/2" REBAR WITH 1" YELLOW PLASTIC CAP (HAGEDORN, INC, R.O.S. BOOK 45, PAGE 81) VISITED OCTOBER 2016
- ⊙ FOUND 3/4" IRON PIPE (VISITED JAN. 2015)
- ⊙ FOUND 5/8" REBAR (VISITED JAN. 2015)
- ANGLE POINT, NOT MONUMENTED
- RM REFERENCE MONUMENT
- R.O.S. RECORD OF SURVEY
- (100.00')D RECORD DISTANCE PER DEED
- (100.00')P RECORD DISTANCE PER BREZEE'S ADDITION
- NEW PROPERTY LINES
- - - ORIGINAL PROPERTY LINES

SHEET INDEX

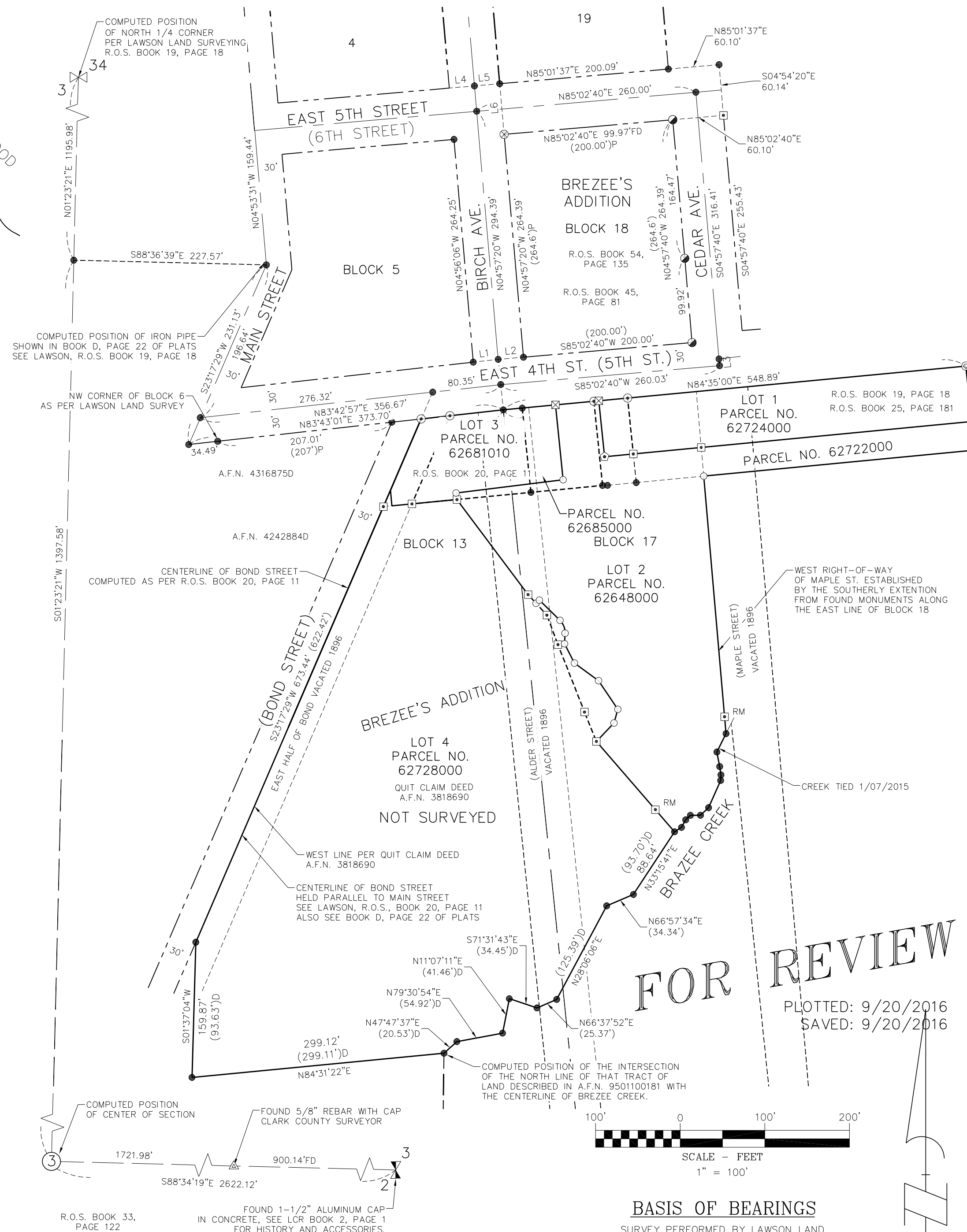
SHEET 1: VICINITY MAP/BOUNDARY LAYOUT
 SHEET 2: BOUNDARY DETAIL
 SHEET 3: EASEMENT DETAILS
 SHEET 4: LEGAL DESCRIPTION & NOTES

LINE #	DIRECTION	LENGTH
L1	S83°42'57"W	29.62
L2	S85°02'40"W	30.00
L3	N4°57'40"W	7.98
L4	N85°02'40"E	29.80
L5	N85°02'40"E	29.94
L6	N5°00'46"W	60.06

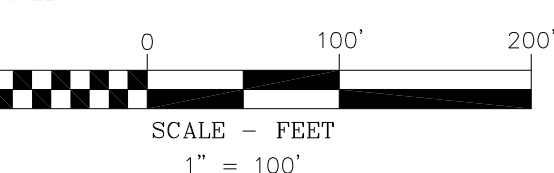
OWNER
 LEWIS RIVER TELEPHONE COMPANY, INC.
 &
 CITY OF LA CENTER

SURVEY PERFORMED FOR:
 EXP US SERVICES, INC
 DATE OF SURVEY: SEPTEMBER 30, 2016
 PROJECT: 14-12-02 DRAFT: JMK, GD
 FILE: 141202-SHORT PLAT.DWG LAYOUT TAB: SP

KLEIN & ASSOCIATES, MAKES NO WARRANTY AS TO MATTERS OF UNWRITTEN TITLE, ADVERSE POSSESSION, ESTOPPEL, ACQUIESCENCE.



FOR REVIEW
 PLOTTED: 9/20/2016
 SAVED: 9/20/2016



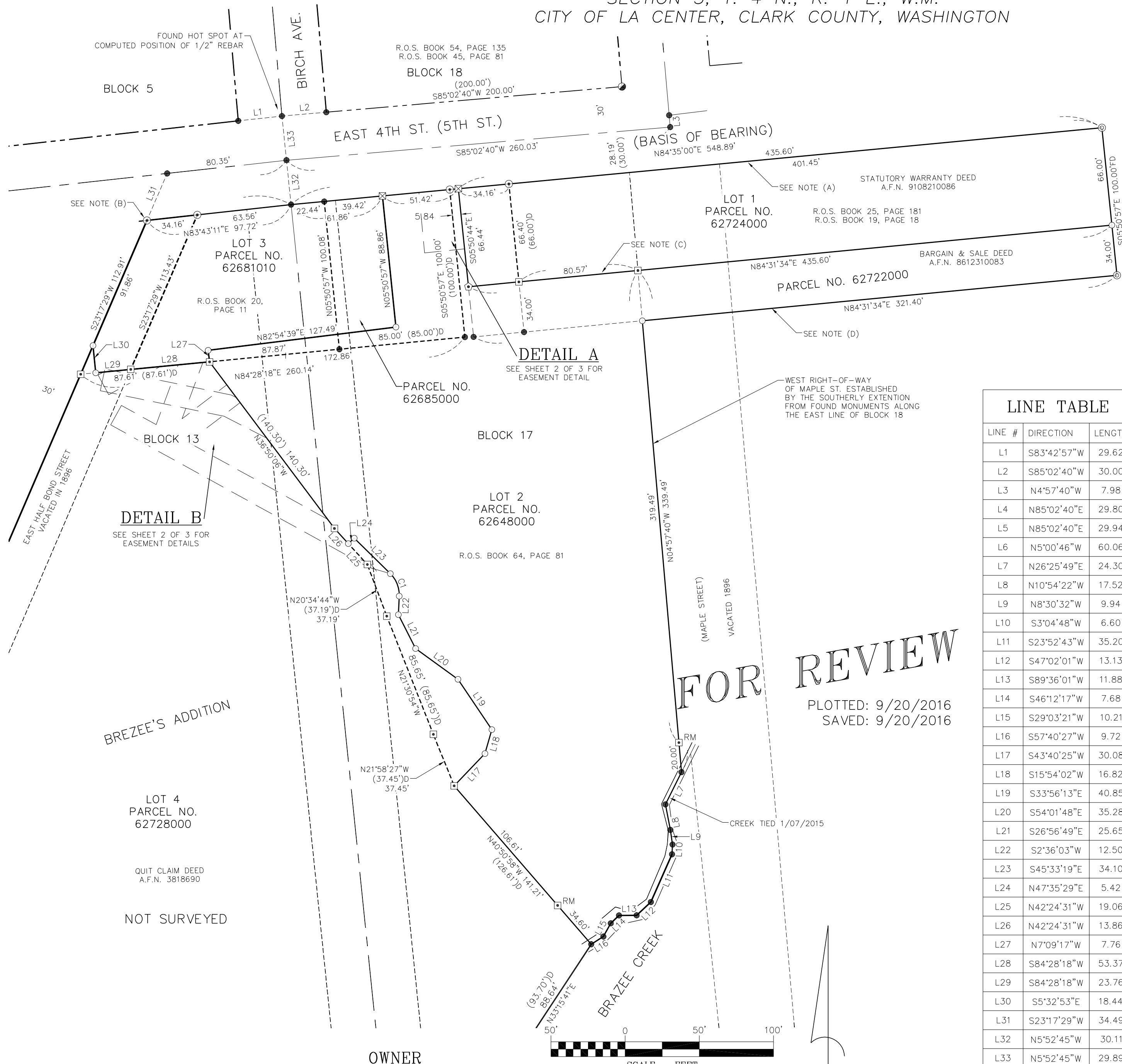
BASIS OF BEARINGS

SURVEY PERFORMED BY LAWSON LAND SURVEYING & ENGINEERING, RECORDED IN COUNTY SURVEY, BOOK 25, PAGE 181.

FOUND 1-1/2" ALUMINUM CAP IN CONCRETE, SEE LCR BOOK 2, PAGE 1 FOR HISTORY AND ACCESSORIES.

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 IN THE SW 1/4 OF THE NE 1/4
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 CITY OF LA CENTER, CLARK COUNTY, WASHINGTON



FOR REVIEW
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NOTES

- THE COMPUTED POSITION OF THE SOUTH RIGHT-OF-WAY OF EAST 4TH STREET WAS ESTABLISHED BY HOLDING A LAWSON LAND SURVEYING, 1/2" REBAR WITH YELLOW PLASTIC CAP LOCATED AT THE NORTHEAST CORNER OF PARCEL NO. 62724000 AND THE COMPUTED POSITION OF THE INTERSECTION WITH THE CENTERLINE OF BIRCH AVENUE EXTENDED SOUTHERLY WITH THE SOUTH LINE OF EAST 4TH STREET (5TH STREET). LAWSON COMPUTED SOUTH RIGHT-OF-WAY LINE OF EAST 4TH STREET, DOES NOT MATCH THE ROAD ALIGNMENT AS SHOWN BY CLARK COUNTY.
- THE INTERSECTION WITH THE SOUTH LINE OF E 4TH STREET (5TH STREET) AND THE EAST LINE OF BOND STREET, AS PER THE 1896 EAST HALF VACATION OF BOND STREET, SAID LINE WAS USED BY LAWSON LAND SURVEY, SEE REFERENCE SURVEY BOOK 20, PAGE 11.
- HELD THE COMPUTED POSITION OF THE SOUTH PROPERTY LINE OF PARCEL NO. 62724000, AS ESTABLISHED BY LAWSON LAND SURVEY, R.O.S. BOOK 25, PAGE 181.
- BARGAIN & SALE DEED, RECORDED IN AUDITOR'S FILE NO. 8612310083, DESCRIBES A TRACT OF LAND, BEING 100 FEET BY 435.60 FEET AND INCLUDES THAT PORTION OF PARCEL NO. 62724000, DESCRIBED IN STATUTORY WARRANTY DEED, RECORDED IN AUDITOR'S FILE NO. 9108210086, AND A PORTION LYING WITHIN PROPOSED LOT 2 OF THIS PLAT. IT IS ALSO BEING NOTED THAT SAID DEED DESCRIPTION EXCEPTS THAT PORTION LYING WITHIN VACATED MAPLE STREET. FOR THIS SURVEY WE INCLUDED SAID LAND LYING WITHIN VACATED MAPLE STREET AS NOT TO CREATE AN ISOLATED TRACT AND/OR DEED GAP BETWEEN PARCELS. THE NORTH LINE OF PARCEL NO. 62646000, DESCRIBED IN AGREEMENT, RECORDED IN AUDITOR'S FILE NO. 9305180133, LYING ADJACENT TO AND SOUTH OF PARCEL NO. 62722000, EXCEPTS OUT THAT CERTAIN TRACT OF LAND DESCRIBED IN SAID BARGAIN & SALE DEED.

VACATION NOTE

- F-72 CLARK CO. COMMISSIONERS JOURNAL OCTOBER 30, 1896.
- JOURNAL H PAGE 391 AND 392 CLARK CO. COMMISSIONERS, ALSO UNDER NO. 29555 OF DEEDS AUGUST 6, 1908.
- BOOKS 1, 2, 21 AND 22 SEE JOURNAL G, PAGE 102 AND 103. ALSO UNDER BOOK 55, PAGE 154 OF DEEDS NO. 8280.

LEGEND

- SET 5/8" X 24" REBAR WITH 1 1/4" YELLOW PLASTIC CAP (KA OR59002 KA WA42690)
- ⊠ SET BRASS SCREW WITH WASHER (KA OR59002 KA WA42690)
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- RM REFERENCE MONUMENT
- R.O.S. RECORD OF SURVEY
- (100.00')D RECORD DISTANCE PER DEED
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- NEW PROPERTY LINES
- - - ORIGINAL PROPERTY LINES

LINE TABLE

LINE #	DIRECTION	LENGTH
L1	S83°42'57"W	29.62
L2	S85°02'40"W	30.00
L3	N4°57'40"W	7.98
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L5	N85°02'40"E	29.94
L6	N5°00'46"W	60.06
L7	N26°25'49"E	24.30
L8	N10°54'22"W	17.52
L9	N8°30'32"W	9.94
L10	S3°04'48"W	6.60
L11	S23°52'43"W	35.20
L12	S47°02'01"W	13.13
L13	S89°36'01"W	11.88
L14	S46°12'17"W	7.68
L15	S29°03'21"W	10.21
L16	S57°40'27"W	9.72
L17	S43°40'25"W	30.08
L18	S15°54'02"W	16.82
L19	S33°56'13"E	40.85
L20	S54°01'48"E	35.28
L21	S26°56'49"E	25.65
L22	S2°36'03"W	12.50
L23	S45°33'19"E	34.10
L24	N47°35'29"E	5.42
L25	N42°24'31"W	19.06
L26	N42°24'31"W	13.86
L27	N7°09'17"W	7.76
L28	S84°28'18"W	53.37
L29	S84°28'18"W	23.76
L30	S5°32'53"E	18.44
L31	S23°17'29"W	34.49
L32	N5°52'45"W	30.11
L33	N5°52'45"W	29.89

AREA NOTE:

PARCEL	ORIGINAL AREA	NEW AREA
LOT 1	0.61± AC.	0.66± AC.
LOT 2	1.85± AC.	2.10± AC.
LOT 3	0.26± AC.	0.40± AC.
LOT 4	5.41± AC.	5.49± AC.

CURVE TABLE

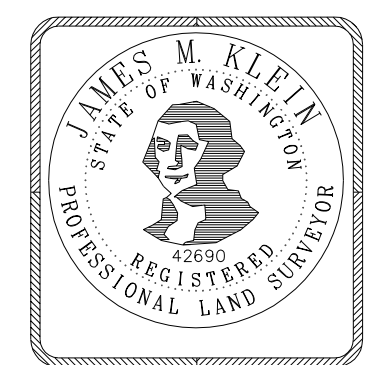
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	16.81'	20.00'	48°09'22"	N21°28'38"W	16.32'

SURVEY PERFORMED FOR:
 EXP US SERVICES, INC
 DATE OF SURVEY: SEPTEMBER 30, 2016
 PROJECT: 14-12-02 DRAFT: JMK, GD
 FILE: 141202-SHORT PLAT.DWG LAYOUT TAB: SP

OWNER
 LEWIS RIVER TELEPHONE
 COMPANY, INC.
 &
 CITY OF LA CENTER

BASIS OF BEARINGS

SURVEY PERFORMED BY LAWSON LAND SURVEYING & ENGINEERING. RECORDED IN COUNTY SURVEY, BOOK 25, PAGE 181.



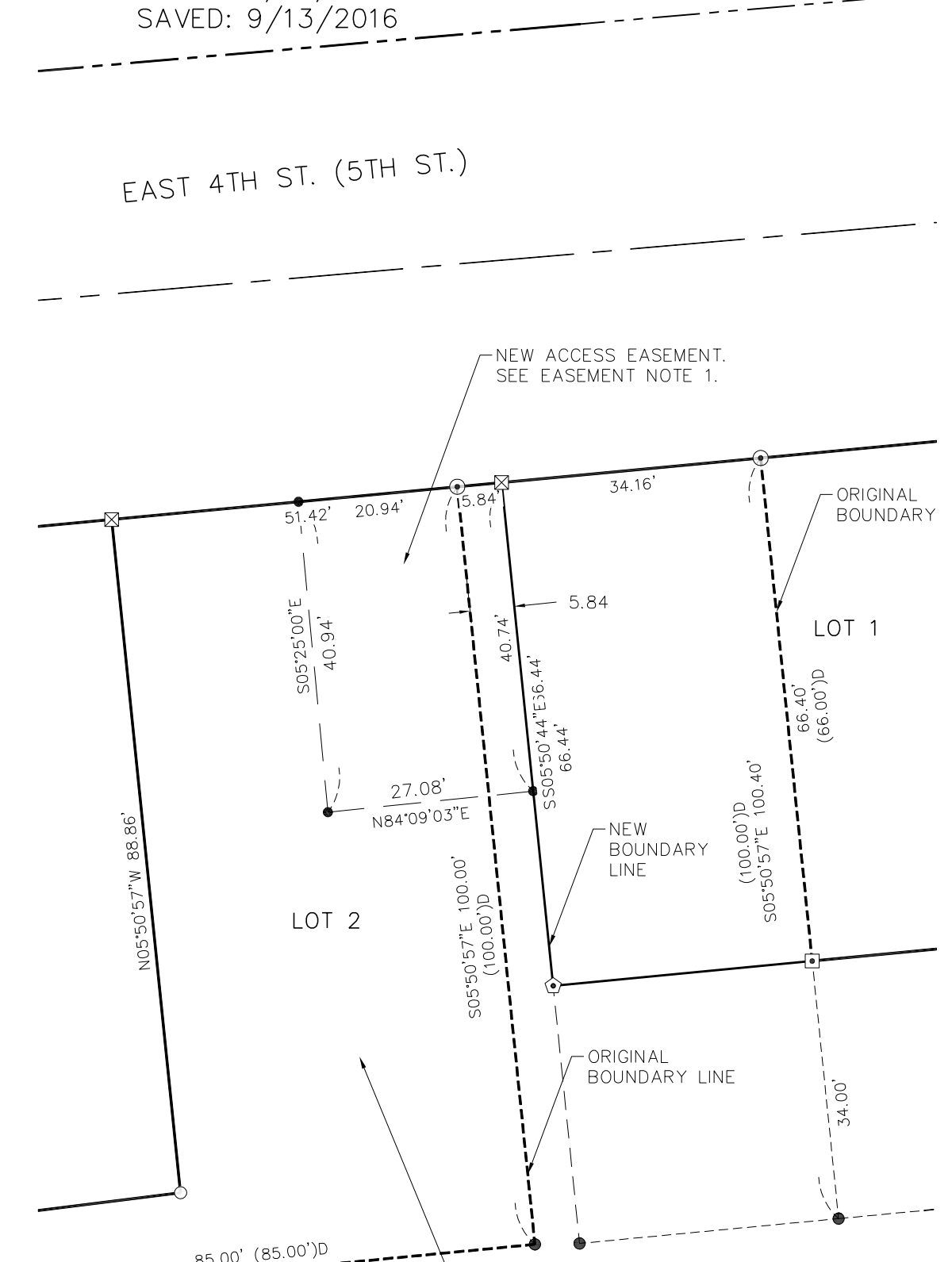
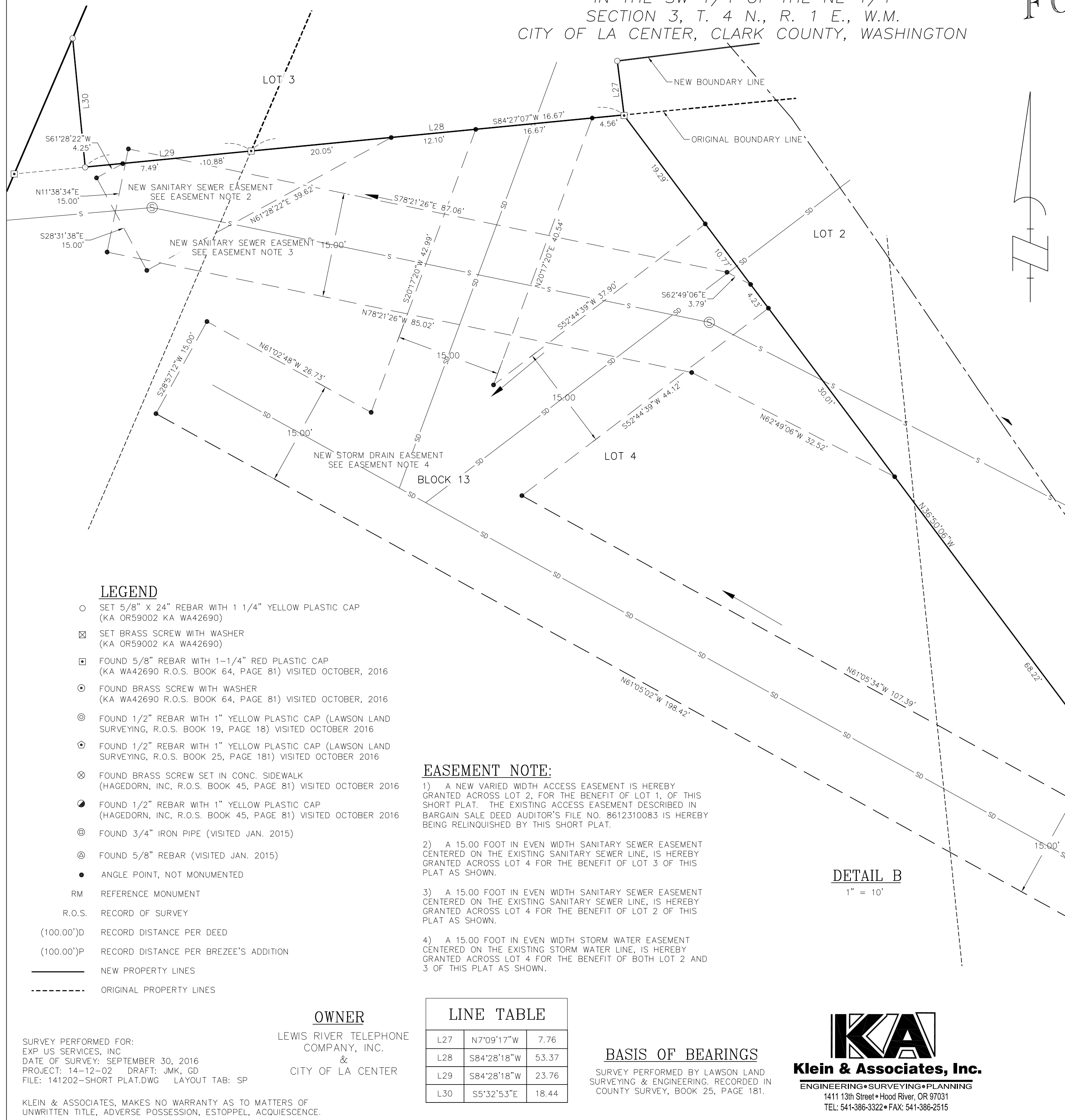
KA
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SHORT PLAT

LOCATED IN A PORTION OF BREZEE'S ADDITION (A-22)
 IN THE SW 1/4 OF THE NE 1/4
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 CITY OF LA CENTER, CLARK COUNTY, WASHINGTON

FOR REVIEW

PLOTTED: 9/13/2016
 SAVED: 9/13/2016



DETAIL A
1" = 20'

40 FOOT BY 100 FOOT INGRESS, EGRESS & UTILITY EASEMENT PER BARGAIN SALE DEED, A.F.N. 8612310083. LOCATION ESTABLISHED, BASED ON LAWSON LAND SURVEYING BOUNDARY LAYOUT, PER R.O.S. BOOK 19, PAGE 18, AND R.O.S. BOOK 25, PAGE 181. SEE EASEMENT NOTE 1)

DETAIL B
1" = 10'

LEGEND

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- ⊗ SET BRASS SCREW WITH WASHER (KA OR59002 KA WA42690)
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- NEW PROPERTY LINES
- - - ORIGINAL PROPERTY LINES

EASEMENT NOTE:

- 1) A NEW VARIED WIDTH ACCESS EASEMENT IS HEREBY GRANTED ACROSS LOT 2, FOR THE BENEFIT OF LOT 1, OF THIS SHORT PLAT. THE EXISTING ACCESS EASEMENT DESCRIBED IN BARGAIN SALE DEED AUDITOR'S FILE NO. 8612310083 IS HEREBY BEING RELINQUISHED BY THIS SHORT PLAT.
- 2) A 15.00 FOOT IN EVEN WIDTH SANITARY SEWER EASEMENT CENTERED ON THE EXISTING SANITARY SEWER LINE, IS HEREBY GRANTED ACROSS LOT 4 FOR THE BENEFIT OF LOT 3 OF THIS PLAT AS SHOWN.
- 3) A 15.00 FOOT IN EVEN WIDTH SANITARY SEWER EASEMENT CENTERED ON THE EXISTING SANITARY SEWER LINE, IS HEREBY GRANTED ACROSS LOT 4 FOR THE BENEFIT OF LOT 2 OF THIS PLAT AS SHOWN.
- 4) A 15.00 FOOT IN EVEN WIDTH STORM WATER EASEMENT CENTERED ON THE EXISTING STORM WATER LINE, IS HEREBY GRANTED ACROSS LOT 4 FOR THE BENEFIT OF BOTH LOT 2 AND 3 OF THIS PLAT AS SHOWN.

LINE TABLE		
L27	N7°09'17"W	7.76
L28	S84°28'18"W	53.37
L29	S84°28'18"W	23.76
L30	S5°32'53"E	18.44

BASIS OF BEARINGS

SURVEY PERFORMED BY LAWSON LAND SURVEYING & ENGINEERING, RECORDED IN COUNTY SURVEY, BOOK 25, PAGE 181.

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SHEET 3 OF 4
 WILLAMETTE MERIDIAN
 CLARK COUNTY, WASHINGTON

1/4	SEC	T.	R.
3	4N.	1E.	

SURVEY PERFORMED FOR:
 EXP US SERVICES, INC
 DATE OF SURVEY: SEPTEMBER 30, 2016
 PROJECT: 14-12-02 DRAFT: JMK, GD
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KLEIN & ASSOCIATES, MAKES NO WARRANTY AS TO MATTERS OF UNWRITTEN TITLE, ADVERSE POSSESSION, ESTOPPEL, ACQUIESCENCE.

REFERENCED SURVEYS

SURVEY PERFORMED BY LAWSON LAND SURVEYING & ENGINEERING
RECORDED IN COUNTY SURVEY, BOOK 25, PAGE 181

SURVEY PERFORMED BY LAWSON LAND SURVEYING
RECORDED IN COUNTY SURVEY, BOOK 20, PAGE 11

SURVEY PERFORMED BY LAWSON LAND SURVEYING
RECORDED IN COUNTY SURVEY, BOOK 19, PAGE 18

SURVEY PERFORMED BY MINISTER-GLAESER
RECORDED IN COUNTY SURVEY, BOOK 54, PAGE 135

SURVEY PERFORMED BY HAGEDORN, INC
RECORDED IN COUNTY SURVEY, BOOK 45, PAGE 81

SURVEY PERFORMED BY CLARK COUNTY
RECORDED IN COUNTY SURVEY, BOOK 33, PAGE 122

PLAT OF BREZEE'S ADDITION A-22 (APRIL 9, 1884)

TOWN OF LA CENTER D-22 (REDUCED SEPT. 18, 1914)

CITY OF LA CENTER CC-080 (PETTI JOHN ENG. 1959)

ALTA SURVEY PERFORMED BY KLEIN AND ASSOCIATES, INC.
RECORDED IN COUNTY SURVEY, BOOK 64, PAGE 81



REFERENCED DEEDS

STATUTORY WARRANTY DEED, A.F.N. 9305180132
QUITCLAIM DEED, A.F.N. 3818690
EASEMENT PER BARGAIN & SALE DEED, A.F.N. 8612310083
EASEMENT DEED, BOOK 226, PAGE 230
MEMORANDUM OF LEASE, A.F.N. 9404130487
AGREEMENT, A.F.N. 9305180133
QUIT CLAIM DEED, A.F.N. 4242884D
FIDUCIARY'S DEED, A.F.N. 4316875D
DEED, A.F.N. G 457378
ORDER OF VACATION

PROCEDURES

A CLOSED LOOP TRAVERSE AROUND THE EXTERIOR BOUNDARY OF THE PARCELS WAS PERFORMED USING A TRIMBLE S6 TOTAL STATION AND A TRIMBLE DATA COLLECTOR IN CONJUNCTION WITH A TRIMBLE R8 G.P.S. SYSTEM. ADJUSTMENT BY COMPASS RULE, MEETS MINIMUM STANDARDS

NARRATIVE:

THE PURPOSE OF THIS SURVEY IS TO ADJUST THOSE PROPERTY LINES DUE TO DISCREPANCIES FOUND IN THE DEED CALLS AND ENCROACHMENTS FOUND IN PAST SURVEYS OF THOSE CERTAIN TRACTS OF LAND OWNED BY LEWIS RIVER TELEPHONE COMPANY, AND THE CITY OF LACENTER, THROUGH THE SHORT PLATTING PROCESS.

BREZEE'S ADDITION TO THE TOWN OF LACENTER - RECORDED APRIL 1893. ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME "A" OF PLATS PAGE 22, SHOWS BOND STREET BEING 60 FOOT IN WIDTH. THE EAST HALF OF BOND STREET WAS VACATED IN 1896, WHICH PUTS THE EAST RIGHT-OF-WAY OF BOND STREET PER THAT CERTAIN VACATION, TO THE PLATTED CENTERLINE AS SHOWN ON THE PLAT OF BREZEE'S ADDITION. THAT CERTAIN PLAT RECORDED SEPTEMBER 18, 1914, IN SURVEY BOOK D, PAGE 22 ALSO SHOWS BOND STREET BEING 30 FOOT IN WIDTH; AGREEING WITH THE 1896 HALF STREET VACATION.

THE SUBJECT DEEDS DESCRIPTION CALLS FOR THE POINT OF BEGINNING TO BE THE INTERSECTION OF THE SOUTH LINE OF FIFTH STREET, NOW FOURTH STREET, AND THE EAST LINE OF BOND STREET, IN BREZEE'S ADDITION TO THE CITY OF LACENTER, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME "A" OF PLATS PAGE 22, RECORDS OF CLARK COUNTY WASHINGTON. BY HOLDING THE DEED CALL FOR THE SOUTH LINE OF FIFTH STREET AND THE EAST LINE OF BOND STREET, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME "A" OF PLATS PAGE 22, AS CALLED FOR IN SAID DEED DESCRIPTION, AND NOT THE EAST LINE PER THAT CERTAIN STREET VACATION OF BOND STREET IN 1896, CREATES A 30 FOOT SHIFTED TO THE EAST WHICH DOES NOT AGREE WITH THE EXISTING PASSION LINES. SAID DISCREPANCIES WERE DISCOVERED BY OUR FIRM WHILE PERFORMING AN ALTA/ACSM LAND TITLE SURVEY FOR LEWIS RIVER TELEPHONE COMPANY, RECORDED IN BOOK 64 PAGE 81.

IN AUGUST OF 1985, LAWSON LAND SURVEYING PERFORMED SURVEY ON A TRACT OF LAND, RECORDED IN BOOK 19, PAGE 18, WHICH IS DESCRIBED AS THE THIRD EXCEPTION OF PARCEL 2 OF THE TITLE REPORT FOR LEWIS RIVER TELEPHONE COMPANY. SAID DESCRIPTION BEGINS ON THE SOUTH LINE OF FIFTH STREET THAT IS 211 FEET EAST, MEASURED ALONG THE SOUTH LINE, FROM THE INTERSECTION OF THE SOUTH LINE OF BOND STREET, SAID CALL WAS INTERPRETED AS A SCRIVENERS ERROR AND THE EAST LINE OF BOND STREET WAS HELD, DUE TO CALLS IN OTHER DEEDS. LAWSON LAND SURVEYING SHOWS THE DISTANCE COMING FROM THE INTERSECTION OF THE SOUTH LINE OF FIFTH STREET AND THE CENTERLINE OF BOND STREET, WHICH DOES NOT AGREE WITH SAID TITLE REPORT.

IN DECEMBER OF 1985, LAWSON LAND SURVEYING PERFORMED AS SURVEY ON A TRACT OF LAND, RECORDED IN BOOK 20, PAGE 11, WHICH IS DESCRIBED AS PARCEL 1 AND 3 OF THE TITLE FOR LEWIS RIVER TELEPHONE COMPANY. SAID DESCRIPTION BEGINS ON THE SOUTH LINE OF FIFTH STREET AND THE EAST LINE OF BOND, AS SHOWN ON THE PLAT OF BREZEE'S ADDITION. LAWSON LAND SURVEYING SURVEY SHOWS THE POINT OF BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF FIFTH STREET AND THE CENTERLINE OF BOND STREET.

IN SEPTEMBER OF 1989, LAWSON LAND SURVEYING PERFORMED A BOUNDARY LINE ADJUSTMENT, RECORDED IN BOOK 25, PAGE 181, ON THE PORTION DESCRIBED AS THE THIRD EXCEPTION OF PARCEL 2 OF THE TITLE FOR LEWIS RIVER TELEPHONE COMPANY, WHICH IS THE SAME TRACT SURVEYED BY LAWSON IN AUGUST 1985.

LEWIS RIVER TELEPHONE COMPANY CONVEYS TO THE CITY OF LACENTER A TRACT OF LAND, RECORDED IN AUDITORS FILE NO. 3818690. SAID TRACT IS DESCRIBED FROM A POINT FROM BREZEE CREEK, THENCE FOLLOWING A RANDOM LINE TO THE SOUTH LINE OF THAT TRACT OF LAND AS DESCRIBED IN THE FIRST EXCEPTION OF EXHIBIT "A" IN AUDITORS FILE NO. 9305180132, BEING THE SOUTH LINE OF PARCEL 1 AND 3 OF THE TITLE REPORT; THENCE ALONG THE SOUTH LINE A DISTANCE OF 87.61 FEET TO THE CENTER LINE OF BOND STREET; THENCE SOUTH ALONG THE CENTER LINE OF BOND STREET ETC.

IT IS THE INTENTION OF THE PROPERTY OWNERS TO ADJUST THE PROPERTY LINES AS SHOWN, AND TO HOLD THE INTERSECTION OF THE SOUTH LINE OF EAST FOURTH STREET WITH THE CENTERLINE OF BOND STREET, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME "A" OF PLATS PAGE 22, WHICH IS THE SAME LINE AS THE EAST LINE OF THAT CERTAIN HALF STREET VACATION OF BOND STREET, AS VACATED IN 1896. THE INTENT IS ALSO TO COMBINE PARCEL NO. 62685000 WITH PARCEL NO. 62681010, BEING LOT 3 OF THIS PLAT, ALONG WITH COMBINING PARCEL 62722000 WITH PARCEL NO. 6264800, BEING LOT 2 OF THIS PLAT. IT IS ALSO THE INTENT TO CREATE NEW EASEMENTS FOR EXISTING UTILITIES, ALONG WITH AN ACCESS EASEMENT AS SHOWN.

OWNER

SURVEY PERFORMED FOR:
EXP US SERVICES, INC
DATE OF SURVEY: SEPTEMBER 30, 2016
PROJECT: 14-12-02 DRAFT: JMK, GD
FILE: 141202-SHORT PLAT.DWG LAYOUT TAB: SP

LEWIS RIVER TELEPHONE
COMPANY, INC.
&
CITY OF LA CENTER

KLEIN & ASSOCIATES, MAKES NO WARRANTY AS TO MATTERS OF UNWRITTEN TITLE, ADVERSE POSSESSION, ESTOPPEL, ACQUIESCENCE.

SHORT PLAT

LOCATED IN A PORTION OF BREZEE'S ADDITION (A-22)
IN THE SW 1/4 OF THE NE 1/4
SECTION 3, T. 4 N., R. 1 E., W.M.
CITY OF LA CENTER, CLARK COUNTY, WASHINGTON

**ORIGINAL LEGAL DESCRIPTION LOTS 2 & 3:
LEWIS RIVER TELEPHONE COMPANY**

LEGAL DESCRIPTION IS DESCRIBED IN LIMITED LIABILITY CERTIFICATE REPORT, PER CLARK COUNTY TITLE, ORDER NO. 146965, DATED JUNE 9, 2014.

PARCEL I

A PORTION OF THE JOHN TIMMONS AND ANDREW BREZEE HOMESTEAD CLAIM AND BLOCKS 13 AND 17 OF BREZEE'S ADDITION IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 4 NORTH, RANGE 1 EAST OF THE WILLAMETTE MERIDIAN, CLARK COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 86 FEET EAST OF THE INTERSECTION OF THE SOUTH LINE OF FIFTH STREET AND THE EAST LINE OF BOND STREET IN BREZEE'S ADDITION TO LA CENTER, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME "A" OF PLATS, PAGE 22, RECORDS OF SAID COUNTY; THENCE EASTERLY ALONG THE SOUTH LINE OF FIFTH STREET, 85 FEET; THENCE SOUTH 100 FEET; THENCE WEST 85 FEET; THENCE NORTH 100 FEET TO THE POINT OF BEGINNING.

PARCEL II

THAT PORTION OF THE FOLLOWING PARCEL LYING WESTERLY AND NORTHERLY OF THE CENTER LINE OF BREZEE CREEK:

BEGINNING AT THE CENTER OF INTERSECTION OF FIFTH AND BOND STREETS IN BREZEE'S ADDITION TO THE TOWN OF LA CENTER, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME "A" OF PLATS, PAGE 22, RECORDS OF CLARK COUNTY, WASHINGTON; THENCE IN A SOUTHERLY DIRECTION ALONG THE CENTER LINE OF SAID BOND STREET, 774 FEET TO A POINT 30 FEET EAST OF THE SOUTHEAST CORNER OF BLOCK 8 IN SAID ADDITION; THENCE SOUTH ALONG SAID CENTER LINE OF BOND STREET, 120 FEET, MORE OR LESS, TO THE MIDDLE OF SECOND STREET IN SAID ADDITION; THENCE NORTH 82' EAST, ALONG THENCE CENTER LINE OF SAID STREET, 730 FEET, MORE OR LESS, TO THE EAST LINE OF THE VACATED MAPLE STREET IN SAID ADDITION; THENCE NORTH ALONG SAID EAST LINE OF MAPLE STREET TO THE CENTER OF THE COUNTY ROAD KNOWN AS LA CENTER AMBOY ROAD; THENCE WESTERLY, ALONG THE CENTER OF SAID ROAD AND THE CENTER OF FIFTH STREET IN SAID BREZEE'S ADDITION, TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THE FOLLOWING DESCRIBED TRACT:

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF FIFTH STREET AND THE EAST LINE OF BOND STREET IN SAID BREZEE'S ADDITION, AND THENCE EASTERLY ALONG THE SOUTH LINE OF FIFTH STREET, 171 FEET; THENCE SOUTH 100 FEET; THENCE WESTERLY AND PARALLEL WITH SAID SOUTH LINE OF FIFTH STREET TO AN INTERSECTION WITH THE EAST LINE OF BOND STREET IN SAID ADDITION; THENCE NORTHERLY ALONG SAID EAST LINE OF BOND STREET TO THE POINT OF BEGINNING.

EXCEPT ANY PORTION LYING WITHIN THE RIGHT-OF-WAY OF NE 5TH STREET, NE BOND STREET, NE 2ND STREET, OR THE LACENTER-AMBOY ROAD.

ALSO EXCEPT THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH LINE OF FIFTH STREET THAT IS 211 FEET EAST, AS MEASURED ALONG SAID SOUTH LINE, FROM THE INTERSECTION OF THE SOUTH LINE OF BOND STREET IN BREZEE'S ADDITION TO THE TOWN OF LA CENTER, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME "A" OF PLATS, PAGE 22, RECORDS OF CLARK COUNTY, WASHINGTON; THENCE SOUTH 66 FEET; THENCE EASTERLY, PARALLEL WITH SAID SOUTH LINE OF FIFTH STREET, TO THE EAST LINE OF VACATED MAPLE STREET; THENCE NORTH 66 FEET TO THE SOUTH LINE OF FIFTH STREET; THENCE WESTERLY ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING.

ALSO EXCEPT THAT PORTION CONVEYED TO CLARK COUNTY, WASHINGTON, UNDER AUDITOR'S FILE NO 9305180132.

ALSO EXCEPT THAT PORTION CONVEYED TO THE CITY OF LA CENTER, UNDER AUDITOR'S FILE NO. 3818690.

PARCEL III

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF FIFTH STREET AND THE EAST LINE OF BOND STREET, AS SHOWN ON THE PLAT OF BREZEE'S ADDITION TO THE TOWN OF LA CENTER, RECORDED IN VOLUME "A" OF PLATS, PAGE 22, RECORDS OF SAID COUNTY; THENCE EAST ALONG THE SOUTH LINE OF FIFTH STREET, 86 FEET; THENCE SOUTH 100 FEET; THENCE WEST 86 FEET, MORE OR LESS, TO THE EAST LINE OF BOND STREET; THENCE NORTHERLY ALONG THE EAST LINE OF BOND STREET, 100 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

TITLE REPORT SPECIAL EXCEPTION LOTS 2 & 3:

THE FOLLOWING EXCEPTIONS WERE LISTED ON THE LEGAL DESCRIPTION DESCRIBED IN THAT CERTAIN LIMITED LIABILITY CERTIFICATE REPORT, PER CLARK COUNTY TITLE, ORDER NO. 146965, DATED JUNE 9, 2014. FOR EXP GLOBAL INC.

EXCEPTIONS:

- 1. THE LAND HEREIN DESCRIBED IS CARRIED ON THE TAX ROLLS AS EXEMPT, HOWEVER, IT WILL BECOME TAXABLE FROM THE DATE OF EXECUTION OF A CONVEYANCE TO A TAXABLE ENTITY AND SUBJECT TO LIEN OF REAL PROPERTY TAXES FOR BALANCE OF YEAR 2014. TAX ACCOUNT NO. 062685-000.
- 2. REAL PROPERTY TAXES - TOTAL DUE MAY INCLUDE FIRE PATROL ASSESSMENT, R.I.D. ASSESSMENT AND/OR CLEAN WATER PROJECT ASSESSMENT, IF ANY NOT INCLUDING INTEREST AND PENALTY AFTER DELINQUENCY: TAX ACCOUNT NO. 062648-000
- 3. REAL PROPERTY TAXES - TOTAL DUE MAY INCLUDE FIRE PATROL ASSESSMENT, R.I.D. ASSESSMENT AND/OR CLEAN WATER PROJECT ASSESSMENT, IF ANY NOT INCLUDING INTEREST AND PENALTY AFTER DELINQUENCY: TAX ACCOUNT NO. 062681-010
- 4. THE LAND HEREIN DESCRIBED IS CARRIED ON THE TAX ROLLS AS EXEMPT, HOWEVER, IT WILL BECOME TAXABLE FROM THE DATE OF EXECUTION OF A CONVEYANCE TO A TAXABLE ENTITY AND SUBJECT TO LIEN OF REAL PROPERTY TAXES FOR BALANCE OF YEAR 2014. TAX ACCOUNT NO. 062681-010.
- 5. ANY UNPAID ASSESSMENTS OR CHARGES, AND LIABILITY FOR FURTHER ASSESSMENTS OR CHARGES BY THE CITY OF LACENTER
- 6. UNRECORDED LEASEHOLDS, IF ANY; RIGHTS OF VENDORS AND HOLDERS OF SECURITY INTEREST ON PERSONAL PROPERTY INSTALLED UPON THE LANDS; AND RIGHTS OF TENANTS TO REMOVE TRADE FIXTURES AT THE EXPIRATION OF THE TERM.
- 7. MEMORANDUM OF LEASE, AND TERMS AND CONDITIONS THEREOF; LESSOR - METROPLEX COMMUNICATION CORPORATION; LESSEE - LEWIS RIVER TELEPHONE COMPANY, INC, RECORDED APRIL 13, 1994, AUDITORS FILE NO. 9404130487. (AFFECTS PARCEL 2)
- 8. EASEMENT GRANTED TO PACIFIC POWER AND LIGHT COMPANY FOR THE PURPOSE OF A ELECTRIC TRANSMISSION AND DISTRIBUTION LINE, RECORDED SEPT. 12, 1933 AUDITOR FILE NO. D-25062, BOOK 226, PAGE 230. (BLANKET EASEMENT)
- 9. MATTERS SET FORTH BY SURVEY, RECORDED SEPT. 24, 1985, COUNTY SURVEY BOOK 19, PAGE 18.
- 10. EASEMENT FOR THE PURPOSE INGRESS, EGRESS AND UTILITIES, RECORDED DEC. 31, 1986 AUDITOR FILE NO. 8612310083, (AS SHOWN)
- 11. MATTERS SET FORTH BY SURVEY, RECORDED JUNE 11, 1986, COUNTY SURVEY BOOK 20, PAGE 11

TITLE REPORT SPECIAL EXCEPTION (CONT) LOTS 2 & 3:

- 12. AGREEMENT AND TERMS AND CONDITIONS THEREOF: RECORDED MAY 18, 1992, AUDITORS FILE NO. 9205180133. (AFFECTS PARCEL 2)
- 13. EASEMENTS FOR UTILITIES OVER AND ACROSS THE PREMISES FORMERLY INCLUDED WITHIN THE BOUNDARIES OF ALDER STREET, NOW KNOW AS BIRCH AVENUE, NOW VACATED, IF ANY SUCH EXISTS.
- 14. TITLE IS VESTED IN LEWIS RIVER TELEPHONE COMPANY, A WASHINGTON CORPORATION WHO ACQUIRED TITLE AS LA CENTER TELEPHONE CO. INC. WE FIND NO PERTINENT MATERS OF RECORD AGAINST THE NAME(S) OF SAID PARTY/PARTIES, EXCEPT ANY MATTERS SHOWN ON SCHEDULE B.
- 15. ANY CHANGES IN THE BOUNDARY OR LEGAL DESCRIPTION OF LANDS DESCRIBED HEREIN, DUE TO SHIFT OR CHANGE THE COURSE OF BREZEE CREEK.
- 16. RIGHTS OF EASEMENT OF THE PUBLIC FOR COMMERCE, NAVIGATION, RECREATION AND FISHERIES.

ORIGINAL LEGAL DESCRIPTION LOT 1:

CITY OF LACENTER

LEGAL DESCRIPTION IS DESCRIBED IN LIMITED LIABILITY REPORT, PER COLUMBIA TITLE, ORDER NO. CTV3034 DATED SEPT. 19, 2016.

PARCEL I

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF FIFTH STREET AND THE WEST LINE OF BOND STREET, AS SHOWN ON THE PLAT OF BREZEE'S ADDITION TO THE TOWN OF LA CENTER RECORDED IN VOLUME "A" OF PLATS, PAGE 22, RECORD OF CLARK COUNTY, STATE OF WASHINGTON, THENCE NORTH 83'42"57" EAST ALONG THE SOUTH LINE OF FIFTH STREET, BASE 97.71 FEET TO AN ANGLE POINT AND SAID SOUTH LINE; THENCE CONTINUING ALONG THE SOUTH LINE OF FIFTH STREET, NORTH 84'31' 34" EAST, 113.29 FEET TO A 1/2" IRON ROD SET BY LAWSON LAND SURVEYING, AND THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID SOUTH LINE NORTH 84'31'34" EAST, 435.60 FEET TO A 1/2 INCH IRON ROD SET BY LAWSON LAND SURVEYING; SOUTH 05'50'57" EAST, 66.00 FEET TO A 1/2" INCH IRON ROD SET BY LAWSON LAND SURVEYING; THENCE SOUTH 84'31' 34" WEST 435.60 FEET TO A 1/2" INCH IRON ROD SET BY LAWSON LAND SURVEYING; THENCE NORTH 05'50'57" WEST, 66.00 FEET TO THE POINT OF BEGINNING.

SUBJECT TO THAT CERTAIN RENTAL AGREEMENT BETWEEN LEWIS RIVER TELEPHONE COMPANY, INC. AND DOUG HORTON D/B/A THE BRASS AWL HAIR DESIGN, DATED NOVEMBER 1, 1990

ORIGINAL LEGAL DESCRIPTION LOT 4:

CITY OF LACENTER

LEGAL DESCRIPTION IS DESCRIBED IN LIMITED LIABILITY REPORT, PER COLUMBIA TITLE, ORDER NO. CTV3034 DATED SEPT. 19, 2016.

PARCEL II

A TRACT OF LAND IN THE SOUTHWEST QUARTER (S .W. 1/4.) OF THE NORTHEAST QUARTER (N.E. 1/4.) OF SECTION 3, TOWNSHIP 4 NORTH, RANGE 1 EAST OF THE WILLAMETTE MERIDIAN, CLARK COUNTY, WASHINGTON DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF SAID SECTION 3 AS SHOWN IN RECORD OF SURVEY BOOK 33 PAGE 122 RECORDS OF CLARK COUNTY, WASHINGTON; THENCE NORTH 88'31'21" WEST ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER (CALLED N88'36'21"W IN RECORD OF SURVEY) A DISTANCE OF 2169.91 FEET; THENCE NORTH 01'28'39" EAST A DISTANCE OF 480.41 FEET TO THE INTERSECTION OF THE NORTH LINE OF THAT CERTAIN TRACT OF LAND AS DESCRIBED IN AUDITOR'S FILE NO. 9501100181, WITH THE CENTERLINE OF BREZEE CREEK AND THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE ALONG SAID CENTERLINE OF BREZEE CREEK NORTH 48'21'28" EAST A DISTANCE OF 20.53 FEET; THENCE NORTH 80'04'45" EAST A DISTANCE OF 54.92 FEET; THENCE NORTH 11'41'02" EAST A DISTANCE OF 41.46 FEET; THENCE SOUTH 70'57'52" EAST A DISTANCE OF 34.45 FEET; THENCE NORTH 67'11'43" EAST A DISTANCE OF 25.37 FEET; THENCE NORTH 28'39'57" EAST A DISTANCE OF 125.39 FEET; THENCE NORTH 67'31'25" EAST A DISTANCE OF 34.34 FEET; THENCE NORTH 25'12'15" EAST A DISTANCE OF 93.70 FEET; THENCE LEAVING SAID BREZEE CREEK NORTH 40'17'07" WEST A DISTANCE OF 126.61 FEET; THENCE NORTH 21'24'36" WEST A DISTANCE OF 37.45 FEET; THENCE NORTH 20'57'03" WEST A DISTANCE OF 85.65 FEET; THENCE NORTH 20'00'53" WEST A DISTANCE OF 37.19 FEET; THENCE NORTH 41'50'40" WEST A DISTANCE OF 32.92 FEET; THENCE NORTH 36'16'15" WEST A DISTANCE OF 140.30 FEET TO A POINT IN THE SOUTH LINE OF THAT TRACT OF LAND AS DESCRIBED IN THE FIRST EXCEPTION OF EXHIBIT "A" IN AUDITOR'S FILE NO. 305180132; THENCE SOUTH 85'05'25" WEST ALONG SAID SOUTH LINE A DISTANCE OF 87.61 FEET TO THE CENTER LINE OF BOND STREET AS RECORDED IN VOLUME "A" OF PLATS PAGE 22 RECORDS OF CLARK COUNTY, WASHINGTON; THENCE SOUTH 21'34'35" WEST ALONG SAID CENTERLINE OF BOND STREET A DISTANCE OF 622.42 FEET TO AN ANGLE POINT IN SAID STREET; THENCE CONTINUING ALONG SAID CENTERLINE SOUTH 02'10'55" WEST A DISTANCE OF 93.63 FEET TO THE INTERSECTION OF THE NORTH LINE OF THAT TRACT OF LAND AS DESCRIBED IN AUDITOR'S FILE NO. 9501100181; THENCE NORTH 85'05'25" EAST ALONG SAID NORTH LINE A DISTANCE OF 299.11 FEET TO THE TRUE POINT OF BEGINNING.

TITLE REPORT SPECIAL EXCEPTION LOTS 1 & 4:

THE FOLLOWING EXCEPTIONS WERE LISTED ON THE LEGAL DESCRIPTION DESCRIBED IN THAT CERTAIN LIMITED LIABILITY REPORT, PER COLUMBIA TITLE, ORDER NO. CTV3034, DATED SEPT. 19, 2016. FOR KLEIN AND ASSOCIATES, INC.

EXCEPTIONS:

- 1. THE LAND HEREIN DESCRIBED IS CARRIED ON THE TAX ROLLS AS EXEMPT, HOWEVER, IT WILL BECOME TAXABLE FROM THE DATE OF EXECUTION OF A CONVEYANCE TO A TAXABLE ENTITY AND SUBJECT TO LIEN OF REAL PROPERTY TAXES FOR BALANCE OF YEAR 2016. TAX ACCOUNT NO. 062724-000.
- 2. THE LAND HEREIN DESCRIBED IS CARRIED ON THE TAX ROLLS AS EXEMPT, HOWEVER, IT WILL BECOME TAXABLE FROM THE DATE OF EXECUTION OF A CONVEYANCE TO A TAXABLE ENTITY AND SUBJECT TO LIEN OF REAL PROPERTY TAXES FOR BALANCE OF YEAR 2014. TAX ACCOUNT NO. 062728-000.
- 4. EASEMENT GRANTED TO PACIFIC POWER AND LIGHT COMPANY FOR THE PURPOSE OF A ELECTRIC FOR A TRANSMISSION OF ELECTRICAL LINE, RECORDED SEPT. 06, 1933 AUDITOR FILE NO. D-25062, BOOK 226, PAGE 230. (BLANKET EASEMENT).
- 5. EASEMENT GRANTED TO THE TOWN OF LA CENTER FOR A WATER PIPE, RECORDED MARCH 01, 1968, UNDER AUDITOR'S FILE NO. G-511618.
- 6. EASEMENT GRANTED TO THE TOWN OF LA CENTER FOR A PUBLIC WATER MAIN, RECORDED DEC. 19, 1991, UNDER AUDITOR'S FILE NO. 9112190001.
- 7. AGREEMENT AND TERMS AND CONDITION THEREOF, REGARDING LA CENTER BOTTOMS, RECORDED MAY 18, 2016 UNDER AUDITOR'S FILE NO. 9305180133
- 8. MATTERS SET FORTH BY SURVEY, RECORDED JUNE 11, 1986, COUNTY SURVEY BOOK 20, PAGE 11
- 9. MATTERS SET FORTH BY SURVEY, RECORDED SEPT. 24, 1985, COUNTY SURVEY BOOK 19, PAGE 18.

KA
Klein & Associates, Inc.
ENGINEERING • SURVEYING • PLANNING
1411 13th Street • Hood River, OR 97031
TEL: 541-386-3322 • FAX: 541-386-2515

SHEET 4 OF 4
WILLAMETTE MERIDIAN
CLARK COUNTY, WASHINGTON

1/4	SEC	T.	R.
<input checked="" type="checkbox"/>	3	4N.	1E.
<input type="checkbox"/>	___	___	___

TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION & NOTES LOCATED IN A PORTION OF BREZEE'S ADDITION (A-22) IN THE SW 1/4 OF THE NE 1/4 SECTION 3, T. 4 N., R. 1 E., W.M. CITY OF LA CENTER, CLARK COUNTY, WASHINGTON

REFERENCED SURVEYS

SURVEY PERFORMED BY LAWSON LAND SURVEYING & ENGINEERING
RECORDED IN COUNTY SURVEY, BOOK 25, PAGE 181

SURVEY PERFORMED BY LAWSON LAND SURVEYING
RECORDED IN COUNTY SURVEY, BOOK 20, PAGE 11

SURVEY PERFORMED BY LAWSON LAND SURVEYING
RECORDED IN COUNTY SURVEY, BOOK 19, PAGE 18

SURVEY PERFORMED BY MINISTER-GLAESER
RECORDED IN COUNTY SURVEY, BOOK 54, PAGE 135

SURVEY PERFORMED BY HAGEDORN, INC
RECORDED IN COUNTY SURVEY, BOOK 45, PAGE 81

SURVEY PERFORMED BY CLARK COUNTY
RECORDED IN COUNTY SURVEY, BOOK 33, PAGE 122

PLAT OF BREZEE'S ADDITION A-22 (APRIL 9, 1884)

TOWN OF LA CENTER D-22 (REDUCED SEPT. 18, 1914)

CITY OF LA CENTER CC-080 (PETTI JOHN ENG. 1959)

REFERENCED DEEDS

STATUTORY WARRANTY DEED, A.F.N. 9305180132
QUITCLAIM DEED, A.F.N. 3818690
EASEMENT PER BARGAIN & SALE DEED, A.F.N. 8612310083
EASEMENT DEED, BOOK 226, PAGE 230
MEMORANDUM OF LEASE, A.F.N. 9404130487
AGREEMENT, A.F.N. 9305180133
QUIT CLAIM DEED, A.F.N. 4242884D
FIDUCIARY'S DEED, A.F.N. 4316875D
DEED, A.F.N. G 457378
ORDER OF VACATION

AREA NOTE:

PARCEL	SQUARE FEET	ACRES
PARCEL I	8,503±	0.20±
PARCEL II	80,620±	1.85±
PARCEL III	11,335±	0.26±

LEGAL DESCRIPTION:

LEGAL DESCRIPTION IS DESCRIBED IN LIMITED LIABILITY CERTIFICATE REPORT, PER CLARK COUNTY TITLE, ORDER NO. 146965
DATED JUNE 9, 2014.

PARCEL I

A PORTION OF THE JOHN TIMMONS AND ANDREW BREZEE HOMESTEAD CLAIM AND BLOCKS 13 AND 17 OF BREZEE'S ADDITION IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 4 NORTH, RANGE 1 EAST OF THE WILLAMETTE MERIDIAN, CLARK COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 86 FEET EAST OF THE INTERSECTION OF THE SOUTH LINE OF FIFTH STREET AND THE EAST LINE OF BOND STREET IN BREZEE'S ADDITION TO LACENTER, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME "A" OF PLATS, PAGE 22, RECORDS OF SAID COUNTY; THENCE EASTERLY ALONG THE SOUTH LINE OF FIFTH STREET, 85 FEET; THENCE SOUTH 100 FEET; THENCE WEST 85 FEET; THENCE NORTH 100 FEET TO THE POINT OF BEGINNING.

PARCEL II

THAT PORTION OF THE FOLLOWING PARCEL LYING WESTERLY AND NORTHERLY OF THE CENTER LINE OF BREZEE CREEK:

BEGINNING AT THE CENTER OF INTERSECTION OF FIFTH AND BOND STREETS IN BREZEE'S ADDITION TO THE TOWN OF LACENTER, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME "A" OF PLATS, PAGE 22, RECORDS OF CLARK COUNTY, WASHINGTON; THENCE IN A SOUTHERLY DIRECTION ALONG THE CENTER LINE OF SAID BOND STREET, 774 FEET TO A POINT 30 FEET EAST OF THE SOUTHEAST CORNER OF BLOCK 8 IN SAID ADDITION; THENCE SOUTH ALONG SAID CENTER LINE OF BOND STREET, 120 FEET, MORE OR LESS; TO THE MIDDLE OF SECOND STREET IN SAID ADDITION; THENCE NORTH 82° EAST, ALONG THENCE CENTER LINE OF SAID STREET, 730 FEET, MORE OR LESS, TO THE EAST LINE OF THE VACATED MAPLE STREET IN SAID ADDITION; THENCE NORTH ALONG SAID EAST LINE OF MAPLE STREET TO THE CENTER OF THE COUNTY ROAD KNOWN AS LACENTER AMBOY ROAD; THENCE WESTERLY, ALONG THE CENTER OF SAID ROAD AND THE CENTER OF FIFTH STREET IN SAID BREZEE'S ADDITION, TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THE FOLLOWING DESCRIBED TRACT:

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF FIFTH STREET AND THE EAST LINE OF BOND STREET IN SAID BREZEE'S ADDITION, AND THENCE EASTERLY ALONG THE SOUTH LINE OF FIFTH STREET, 171 FEET; THENCE SOUTH 100 FEET; THENCE WESTERLY AND PARALLEL WITH SAID SOUTH LINE OF FIFTH STREET TO AN INTERSECTION WITH THE EAST LINE OF BOND STREET IN SAID ADDITION; THENCE NORTHERLY ALONG SAID EAST LINE OF BOND STREET TO THE POINT OF BEGINNING.

EXCEPT ANY PORTION LYING WITHIN THE RIGHT-OF-WAY OF NE 5TH STREET, NE BOND STREET, NE 2ND STREET, OR THE LACENTER-AMBOY ROAD.

ALSO EXCEPT THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH LINE OF FIFTH STREET THAT IS 211 FEET EAST, AS MEASURED ALONG SAID SOUTH LINE, FROM THE INTERSECTION OF THE SOUTH LINE OF BOND STREET IN BREZEE'S ADDITION TO THE TOWN OF LACENTER, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME "A" OF PLATS, PAGE 22, RECORDS OF CLARK COUNTY, WASHINGTON; THENCE SOUTH 66 FEET; THENCE EASTERLY, PARALLEL WITH SAID SOUTH LINE OF FIFTH STREET, TO THE EAST LINE OF VACATED MAPLE STREET; THENCE NORTH 66 FEET TO THE SOUTH LINE OF FIFTH STREET; THENCE WESTERLY ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING.

ALSO EXCEPT THAT PORTION CONVEYED TO CLARK COUNTY, WASHINGTON, UNDER AUDITOR'S FILE NO 9305180132.

ALSO EXCEPT THAT PORTION CONVEYED TO THE CITY OF LACENTER, UNDER AUDITOR'S FILE NO. 3818690.

PARCEL III

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF FIFTH STREET AND THE EAST LINE OF BOND STREET, AS SHOWN ON THE PLAT OF BREZEE'S ADDITION TO THE TOWN OF LACENTER, RECORDED IN VOLUME "A" OF PLATS, PAGE 22, RECORDS OF SAID COUNTY; THENCE EAST ALONG THE SOUTH LINE OF FIFTH STREET, 86 FEET; THENCE SOUTH 100 FEET; THENCE WEST 86 FEET, MORE OR LESS, TO THE EAST LINE OF BOND STREET; THENCE NORTHERLY ALONG THE EAST LINE OF BOND STREET, 100 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

NARRATIVE:

THE PURPOSE OF THIS SURVEY IS TO PERFORM TOPOGRAPHIC SURVEY FOR LEWIS RIVER TELEPHONE COMPANY. A LIMITED LIABILITY CERTIFICATE REPORT WAS PERFORMED BY CLARK COUNTY TITLE, TITLE, ORDER NO. 146965, DATED JUNE 9, 2014, WHICH WAS USED TO LOCATE THE BOUNDARY OF THE SUBJECT TRACT. THE SUBJECT TRACT OF LAND IS LOCATED IN A PORTION OF BREZEE'S ADDITION.

THE PARCELS ARE DESCRIBED IN THAT CERTAIN TITLE REPORT AS PARCEL 1, 2, AND 3 OF EXHIBIT "A" OF SAID LIMITED LIABILITY CERTIFICATE REPORT. LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 4 NORTH, RANGE 1 EAST, WILLAMETTE MERIDIAN, COUNTY OF CLARK, STATE OF WASHINGTON.

BASIS OF BEARINGS

PERFORMED BY LAWSON LAND SURVEYING
AND ENGINEERING, RECORDED IN COUNTY
SURVEY, BOOK 25, PAGE 181

VERTICAL DATUM

NAVD 88 ORTHOMETRIC HEIGHT, UTILIZING THE NATIONAL
GEODETIC SURVEY (NGS) ONLINE POSITIONING USER SERVICES
(OPUS) SOFTWARE PROGRAM.

SURVEY PERFORMED FOR:
EXP US SERVICES, INC
DATE OF SURVEY: JAN. 9, 2015
PROJECT: 14-12-02 DRAFT: JMK
FILE: 141202.DWG LAYOUT TAB: ALTA

KLEIN & ASSOCIATES, MAKES NO WARRANTY AS TO MATTERS OF
UNWRITTEN TITLE, ADVERSE POSSESSION, ESTOPPEL, ACQUIESCENCE.

GENERAL NOTES:

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY KLEIN & ASSOCIATES, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. INFORMATION REGARDING EASEMENTS, RIGHT OF WAYS AND TITLE OF RECORD RELATING TO TAX LOTS 62685000, 62648000 AND 62681010, KLEIN & ASSOCIATES, INC. RELIED UPON A LIMITED LIABILITY CERTIFICATE REPORT PREPARED BY CLARK COUNTY TITLE, ORDER NO. 146965, DATED JUNE 9, 2014. SAID REPORT WAS PROVIDED TO KLEIN & ASSOCIATES, INC. BY KEVIN COUGHLIN OF EXP GLOBAL INC.

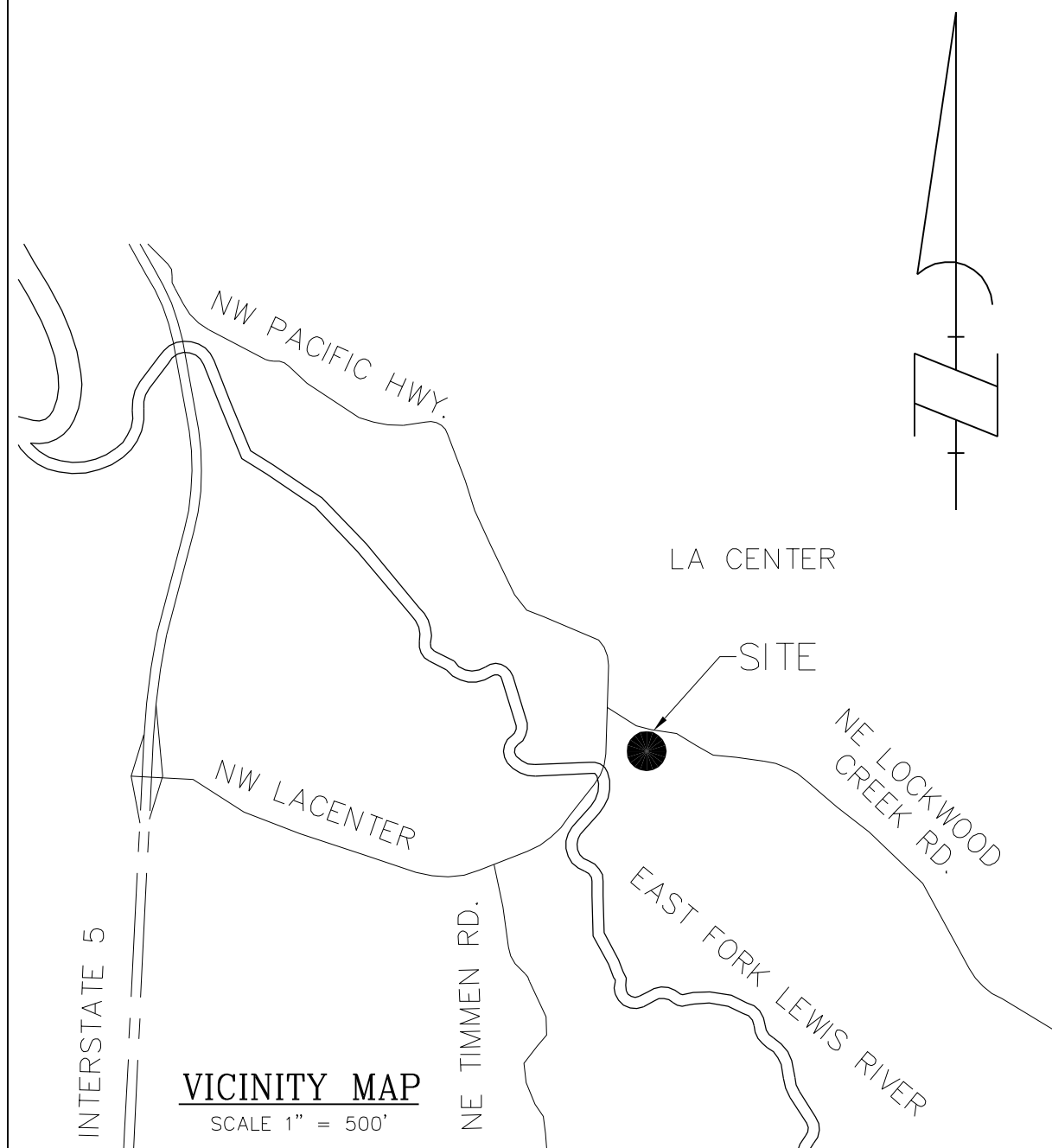
- BASIS OF BEARING:** PERFORMED BY LAWSON LAND SURVEYING & ENGINEERING, RECORDED IN COUNTY SURVEY BOOK 25, PAGE 181.
- ACCESS:** ACCESS TO TAX LOTS ARE THROUGH PRIVATE EASEMENTS OF RECORD FROM EAST 4TH STREET AND THAT CERTAIN VACATED PORTION OF BOND STREET.
- UTILITY STATEMENT:** UTILITIES SHOWN ON SHEET 4 THROUGH 11 WERE FIELD LOCATED PER PAINTED UTILITIES MARKS, UNLESS OTHERWISE. SEE LEGEND OF UTILITIES FOUND AND NOTED. REASONABLE EFFORTS HAVE BEEN MADE TO DEPICT THESE UTILITIES, NO GUARANTEES ARE MADE AS TO THE COMPLETENESS OR ACCURACY OF ABOVE OR BELOW GROUND UTILITY. UTILITY LOCATE NO. 15001129.
- ENCROACHMENTS:** ENCROACHMENTS ARE NOTED IN A PREVIOUSLY RECORDED ALTA/ACSM LAND TITLE SURVEY. SEE SURVEY FOR NOTES AND LOCATION.

NOTES:

- PARCEL 1 AND PARCEL 3 OF THE LEGAL DESCRIPTION, DESCRIBED HEREIN IS DESCRIBED AS BEGINNING AT THE INTERSECTION WITH THE SOUTH LINE OF FIFTH STREET AND THE EAST LINE OF BOND STREET IN BREZEE'S ADDITION TO LACENTER, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME A OF PLATS, PAGE 22, THREE RECORDS OF SURVEYS PERFORMED BY LAWSON LAND SURVEYING. SEE REFERENCE SURVEY FOR RECORDING INFORMATION, WHICH SHOWS THE WEST PROPERTY LINE OF PARCEL 3 AS BEING THE EAST RIGHT-OF-WAY OF BOND STREET PER THAT CERTAIN HALF STREET VACATED IN 1896 OF SAID BOND STREET, AND NOT THE EAST LINE OF BOND STREET ACCORDING TO THE OFFICIAL PLAT OF BREZEE'S ADDITION TO LACENTER. CREATING A DISCREPANCY OF 34.49 FEET IN A EASTERLY DIRECTION. THE BEGINNING POINT OF PARCEL 2 COMMENCES AT THE INTERSECTION WITH THE CENTERLINE OF FIFTH STREET AND THE CENTERLINE OF BOND STREET IN BREZEE'S ADDITION TO LACENTER, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME A OF PLATS, PAGE 22. IT IS UNCLEAR OF THE INTENT OF THE DEEDS IF THE BEGINNING POINT OF THE PARCEL SHOWN HEREIN WAS TO BEGIN AT THE EAST RIGHT-OF-WAY OF BOND STREET, AS THE EAST HALF WAS VACATED IN 1896 AS SHOWN BY LAWSON LAND SURVEYING, IT IS MY RECOMMENDATION TO SEEK LEGAL ADVICE TO RECTIFY ANY CONFUSION OF THE POINT OF BEGINNING WITHIN THE PARCEL DESCRIBED HEREIN.
- THAT CERTAIN BARGAIN AND SALE DEED, RECORDED IN AUDITORS FILE NO. 8612310083 CONVEYS, TO LEWIS RIVER TELEPHONE COMPANY, INC, A TRACT OF LAND AS SHOWN IN RECORD OF SURVEY, PERFORMED BY LAWSON LAND SURVEYING, BOOK 19, PAGE 18. AFORESAID DEED DOES NOT AGREE WITH THE LEGAL DESCRIPTION OF PARCEL 2, THIRD EXCEPTION AS SHOWN IN LEGAL DESCRIPTION OF THIS PLAT. THE DISCREPANCIES BETWEEN THE TWO DESCRIPTION WAS DETERMINED TO BE WHERE THE COMMENCEMENT POINT STARTS FROM, BEING THE INTERSECTION WITH THE SOUTH LINE OF FIFTH STREET AND THE EAST LINE OF BOND STREET IN BREZEE'S ADDITION TO LACENTER, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME A OF PLATS, PAGE 22, AND THE EAST RIGHT-OF-WAY ON BOND STREET PER THAT CERTAIN HALF STREET VACATED IN 1896 OF SAID BOND STREET, SEE NOTE 1 OF THIS PLAT FOR FURTHER DETAILS. IT WAS ALSO CONCLUDED THAT THE INGRESS, EGRESS, AND UTILITY EASEMENT, DESCRIBED IN THE AFORESAID BARGAIN AND SALE DEED DOES FIT THE PRACTICAL LOCATION OF THE EXISTING ENTRANCE; AS THE DESCRIPTION FOLLOWS THE PROPERTY AS SURVEYED BY LAWSON LAND SURVEY.

SHEET INDEX

SHEET 1: LEGAL DESCRIPTION & NOTES
SHEET 2: BOUNDARY LAYOUT
SHEET 3: TOPOGRAPHIC SURVEY
SHEET 4: MASTER UTILITIES LAYOUT
SHEET 5: SANITARY AND STORM WATER LAYOUT
SHEET 6: WATERLINE LAYOUT
SHEET 7: IRRIGATION LINE LAYOUT
SHEET 8: MAIN ELECTRICAL LINE LAYOUT
SHEET 9: SECONDARY ELECTRICAL LINE LAYOUT
SHEET 10: COMMUNICATION LINE LAYOUT
SHEET 11: GAS LINE LAYOUT



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SHEET 1 OF 11
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CLARK COUNTY, WASHINGTON

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TOPOGRAPHIC SURVEY

BOUNDARY LAYOUT
 LOCATED IN A PORTION OF BREZEE'S ADDITION (A-22)
 IN THE SW 1/4 OF THE NE 1/4
 SECTION 3, T. 4 N., R. 1 E., W.M.
 CITY OF LA CENTER, CLARK COUNTY, WASHINGTON

NOTES

- (A) SOUTH LINE OF THAT CERTAIN TRACT OF LAND DESCRIBED IN THE FIRST EXCEPTION OF EXHIBIT "A" OF AUDITORS FILE NO. 9305180132. HELD COMPUTED POSITION OF SOUTH LINE AS PER LAWSON LAND SURVEYING ROS, BOOK 20, PAGE 11.
- (B) THE COMPUTED POSITION OF THE SOUTH RIGHT-OF-WAY OF EAST 4TH STREET HOLDING A FOUND 1/2" REBAR WITH YELLOW PLASTIC CAP AND THE COMPUTED POSITION OF THE INTERSECTION OF THE CENTERLINE OF BIRCH AVENUE AND THE SOUTH LINE OF EAST 4 STREET. LAWSON COMPUTED SOUTH LINE OF EAST 4TH STREET DOES NOT MATCH THE ROAD ALIGNMENT AS SHOWN BY CLARK COUNTY.
- (C) POINT OF BEGINNING OF PARCEL II, BEGINNING AT THE INTERSECTION OF FIFTH AND BOND STREET IN THE BREZEE'S ADDITION TO THE TOWN OF LACENTER.
- (D) POINT OF BEGINNING OF PARCEL I & III, BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF FIFTH STREET AND THE EAST LINE OF BOND STREET AS SHOWN IN THE PLAT OF BREZEE'S ADDITION TO THE TOWN OF LACENTER.
- (E) THE INTERSECTION OF THE SOUTH LINE OF FIFTH STREET AND THE EAST LINE OF BOND STREET, AS PER THE 1896 EAST HALF VACATION OF BOND STREET, WHICH LINE WAS USED BY LAWSON LAND SURVEY, SEE REFERENCE SURVEY FOR RECORDING INFORMATION BOOK 20, PAGE 11.
- (F) HELD THE INTERSECTION OF BOND STREET AND THE SOUTH LINE OF THE FIRST EXCEPTION OF EXHIBIT A PER AUDITOR FILE NO. 9305180132 AS CALLED IN QUIT CLAIM DEED, AUDITOR FILE NO. 3818690.
- (G) HELD A RANDOM LINE ALONG THE EAST LINE OF THAT CERTAIN QUIT CLAIM DEED RECORDED IN AUDITORS FILE NO. 3818690, FROM THE INTERSECTION AS DESCRIBED IN NOTE (F).
- (H) HELD LINE AS ESTABLISHED BY LAWSON LAND SURVEY IN ROS, BK. 25, PG. 181.
- (I) POINT OF BEGINNING OF BARGAIN AND SALE DEED, A.F.N. 8612310083. AGREES WITH LAWSON LAND SURVEYING, ROS, BK. 19, PG.18. AFORESAID DEED DOES NOT AGREE WITH THE FOUR EXCEPTION DESCRIBED IN LEGAL DESCRIPTION OF PARCEL II.

LEGEND

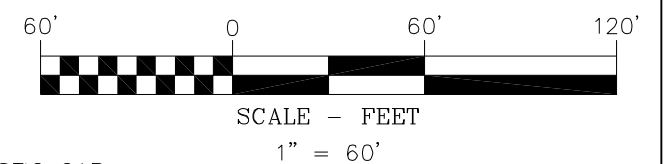
- SET 5/8" X 24" REBAR WITH 1-1/4" RED PLASTIC CAP (KLEIN & ASSOC. 42690LS)
- ⊙ SET BRASS SCREW WITH WASHER (KLEIN & ASSOC. 42690LS)
- ⊙ FOUND 1/2" REBAR WITH 1" YELLOW PLASTIC CAP (LAWSON LAND SURVEYING, ROS, BK. 19, PG. 18) VISITED JAN. 2015
- ⊙ FOUND 1/2" REBAR WITH 1" YELLOW PLASTIC CAP (LAWSON LAND SURVEYING, ROS, BK. 25, PG. 181) VISITED JAN. 2015
- ⊗ FOUND BRASS SCREW SET IN CONC. SIDEWALK (HAGEDORN, INC, ROS, BK. 45, PG. 81) VISITED JAN. 2015
- FOUND 1/2" REBAR WITH 1" YELLOW PLASTIC CAP (HAGEDORN, INC, R.O.S, BK. 45, PG. 81) VISITED JAN. 2015
- ⊙ FOUND 3/4" IRON PIPE (VISITED JAN. 2015)
- ⊙ FOUND 5/8" REBAR (VISITED JAN. 2015)
- ANGLE POINT, NOT MONUMENTED
- RM REFERENCE MONUMENT
- ROS RECORD OF SURVEY
- (100.00')D RECORD DISTANCE PER DEED
- (100.00')P RECORD DISTANCE PER BREZEE'S ADDITION

BASIS OF BEARINGS

PERFORMED BY LAWSON LAND SURVEYING AND ENGINEERING, RECORDED IN COUNTY SURVEY, BOOK 25, PAGE 181

VERTICAL DATUM

NAVD 88 ORTHOMETRIC HEIGHT, UTILIZING THE NATIONAL GEODETIC SURVEY (NGS) ONLINE POSITIONING USER SERVICES (OPUS) SOFTWARE PROGRAM.



SHEET 2 OF 11
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34

COMPUTED POSITION OF NORTH 1/4 CORNER PER LAWSON LAND SURVEYING ROS, BK. 19, PG. 18

COMPUTED POSITION OF IRON PIPE SHOWN IN BK. D, PG. 22 OF PLATS SEE LAWSON, ROS, BK. 19, PG. 18

NW CORNER OF BLOCK 6 AS PER LAWSON LAND SURVEY

CENTER LINE OF BOND STREET COMPUTED AS PER ROS, BK. 20, PG. 11

CENTER LINE OF BOND STREET COMPUTED AS PER ROS, BK. 20, PG. 11

CENTERLINE OF BOND STREET HELD PARALLEL TO MAIN STREET SEE LAWSON, ROS, BK. 20, PG. 11 ALSO SEE BK. D, PG. 22 OF PLATS

WEST LINE OF QUIT CLAIM DEED A.F.N. 3818690

FOUND 1-1/2" ALUM. CAP IN CONC., SEE LCR BK. 2, PG. 1 FOR HISTORY AND ACCESSORIES

Line #	Direction	Length
L1	S83°42'57"W	29.62
L2	S85°02'40"W	30.00
L3	N04°57'40"W	7.98
L4	N85°02'40"E	29.80
L5	N85°02'40"E	29.94
L6	N05°00'46"W	60.06
L7	N26°25'49"E	24.30
L8	N10°54'22"W	17.52
L9	S03°04'48"W	6.60
L10	S23°52'43"W	35.20
L11	S47°02'01"W	13.13
L12	S89°36'01"W	11.88
L13	S46°12'17"W	7.68
L14	S29°03'21"W	10.21
L15	S57°40'27"W	9.72

COMPUTED POSITION OF CENTER OF SECTION

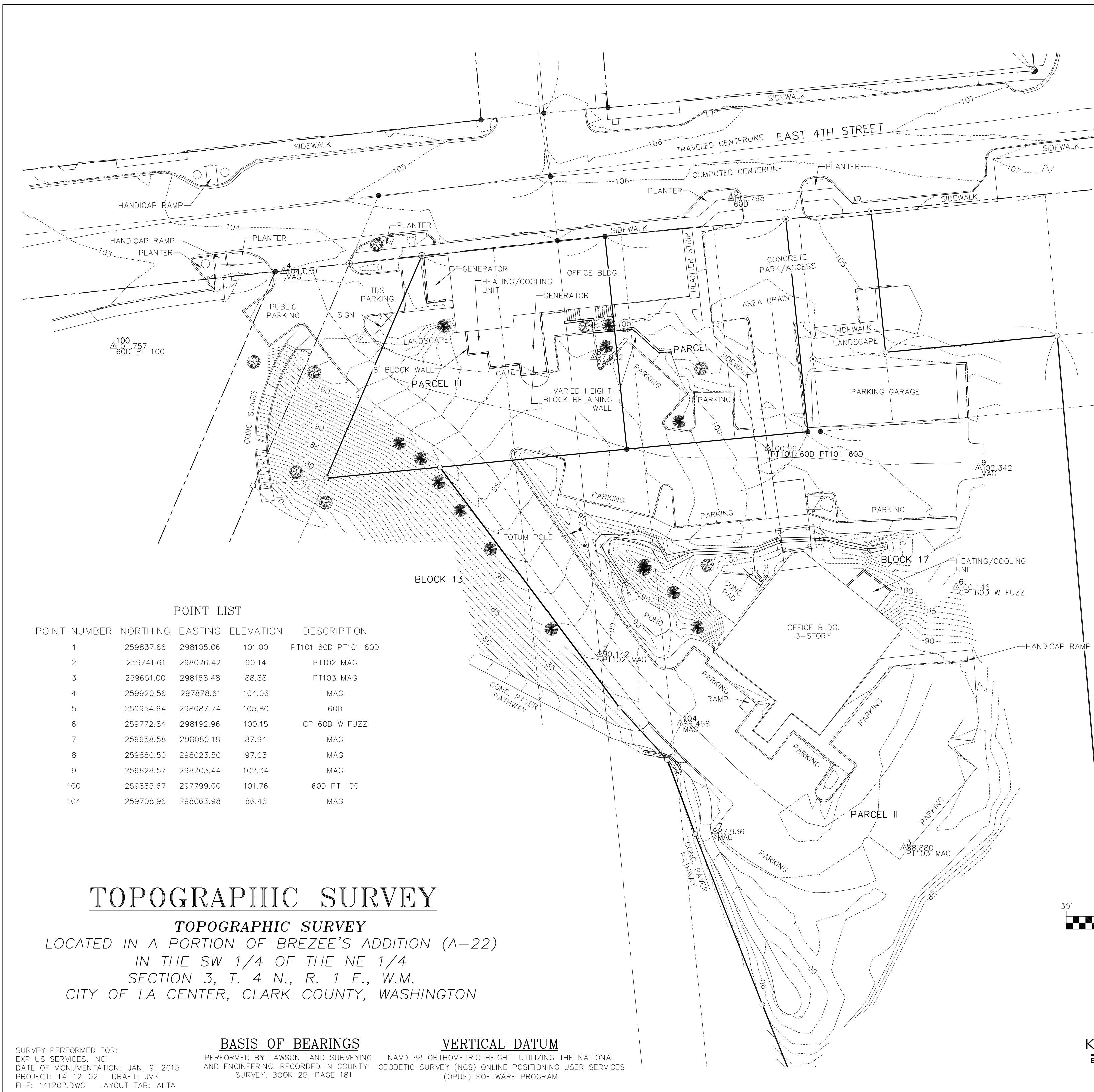
1721.98'

FOUND 5/8" REBAR WITH CAP CLARK COUNTY SURVEYOR

S 88°34'19" E 2622.12'

SURVEY PERFORMED FOR:
 EXP US SERVICES, INC
 DATE OF MONUMENTATION: JAN. 9, 2015
 PROJECT: 14-12-02 DRAFT: JMK
 FILE: 141202.DWG LAYOUT TAB: ALTA

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- ### LEGEND
- EDGE OF ASPHALT
 - == CURB AND GUTTER
 - W WATER MAIN
 - WS WS IRRIGATION LINE
 - S SANITARY SEWER MAIN
 - SD STORM DRAIN
 - AP AERIAL POWER LINE
 - BE BURIED ELECTRIC LINE
 - AT AERIAL TELEPHONE LINE
 - T BURIED TELEPHONE LINE
 - G GAS MAIN
 - X FENCE
 - DECORATIVE WATER FEATURE
 - RETAINING WALL
- CONCRETE
 - W/V WATER VALVE
 - FH FIRE HYDRANT
 - WM WATER METER
 - SS SANITARY SEWER MANHOLE
 - CO SANITARY SEWER CLEANOUT
 - GT GREASE TRAP MANHOLE
 - SDM STORM DRAIN MANHOLE
 - RDS ROOF DRAIN SUMP
 - PP POWER POLE
 - LP LIGHT POLE
 - E-V E-VAULT
 - FL FLOOD LIGHT (GROUND)
 - ELEC ELECTRIC PEDESTAL
 - EM ELECTRIC METER
 - M TELEPHONE MANHOLE
 - TEL TELEPHONE PEDESTAL
 - TV TELEPHONE VAULT
 - GV GAS MAIN VALVE
 - GM GAS METER
 - SIGN

POINT LIST

POINT NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	259837.66	298105.06	101.00	PT101 60D PT101 60D
2	259741.61	298026.42	90.14	PT102 MAG
3	259651.00	298168.48	88.88	PT103 MAG
4	259920.56	297878.61	104.06	MAG
5	259954.64	298087.74	105.80	60D
6	259772.84	298192.96	100.15	CP 60D W FUZZ
7	259658.58	298080.18	87.94	MAG
8	259880.50	298023.50	97.03	MAG
9	259828.57	298203.44	102.34	MAG
100	259885.67	297799.00	101.76	60D PT 100
104	259708.96	298063.98	86.46	MAG

TOPOGRAPHIC SURVEY

TOPOGRAPHIC SURVEY
 LOCATED IN A PORTION OF BREZEE'S ADDITION (A-22)
 IN THE SW 1/4 OF THE NE 1/4
 SECTION 3, T. 4 N., R. 1 E., W.M.
 CITY OF LA CENTER, CLARK COUNTY, WASHINGTON

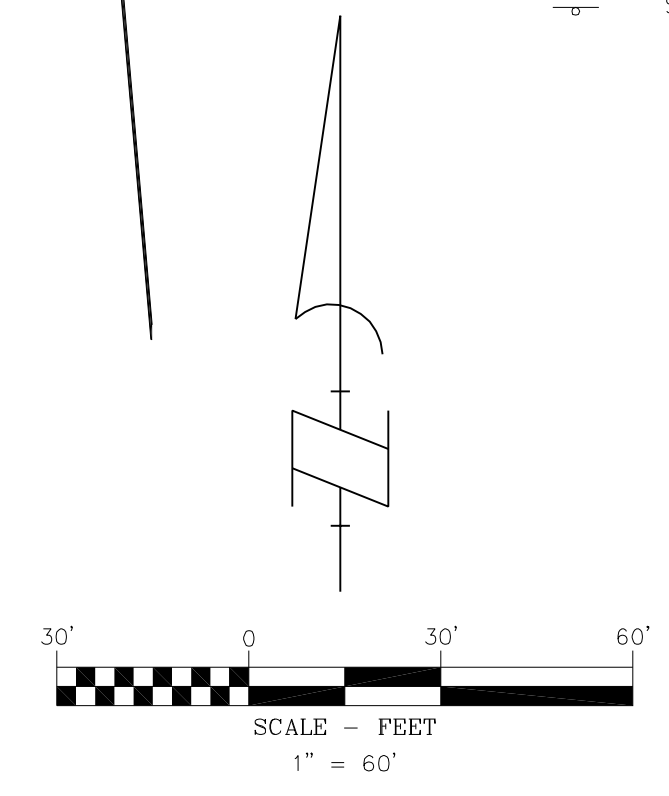
BASIS OF BEARINGS

PERFORMED BY LAWSON LAND SURVEYING AND ENGINEERING, RECORDED IN COUNTY SURVEY, BOOK 25, PAGE 181

VERTICAL DATUM

NAVD 88 ORTHOMETRIC HEIGHT, UTILIZING THE NATIONAL GEODETIC SURVEY (NGS) ONLINE POSITIONING USER SERVICES (OPUS) SOFTWARE PROGRAM.

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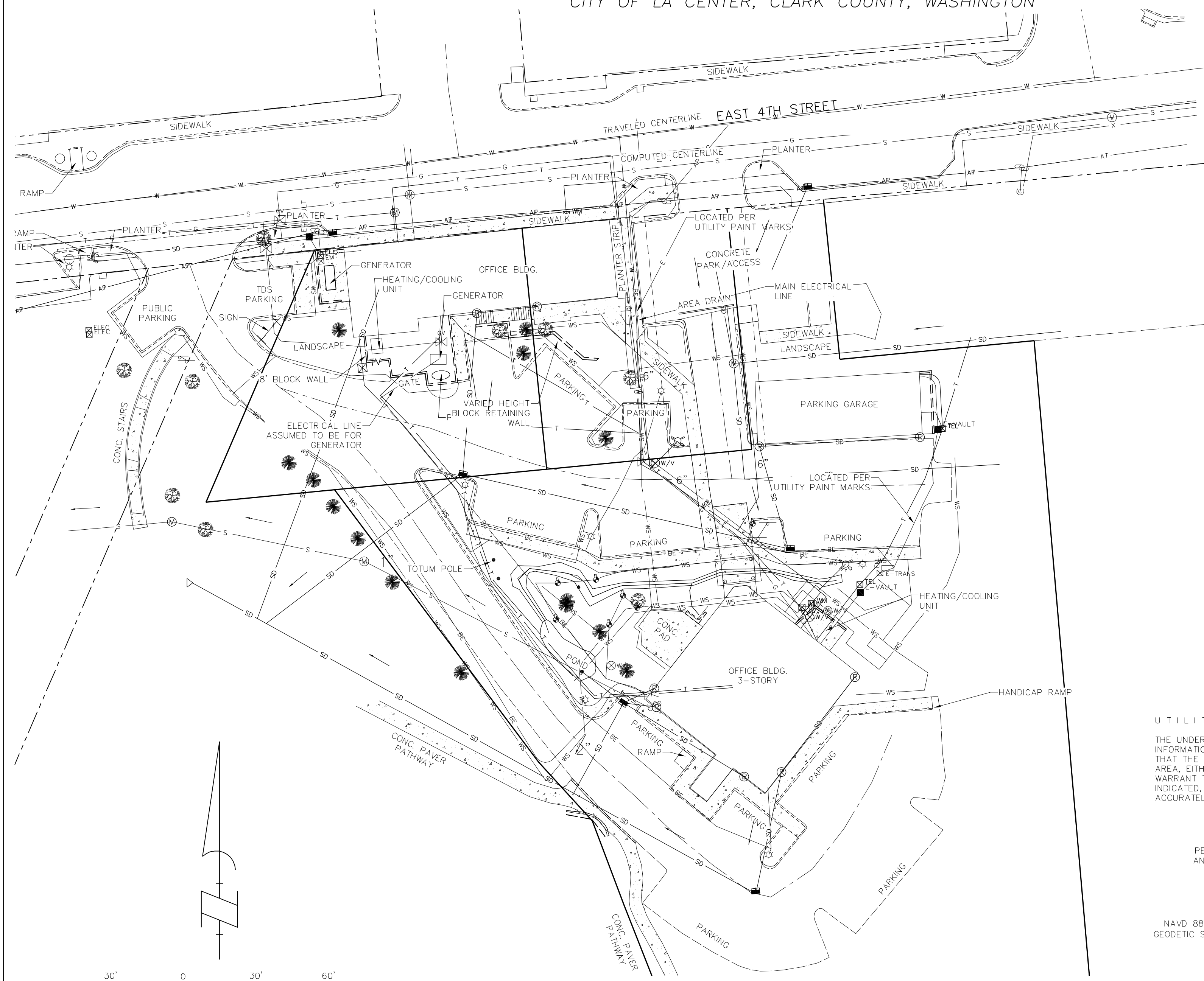
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TOPOGRAPHIC SURVEY

MASTER UTILITIES LAYOUT
 LOCATED IN A PORTION OF BREZEE'S ADDITION (A-22)
 IN THE SW 1/4 OF THE NE 1/4
 SECTION 3, T. 4 N., R. 1 E., W.M.
 CITY OF LA CENTER, CLARK COUNTY, WASHINGTON



LEGEND

- EDGE OF ASPHALT
- ==== CURB AND GUTTER
- W WATER MAIN
- WS IRRIGATION LINE
- S SANITARY SEWER MAIN
- SD STORM DRAIN
- AP AERIAL POWER LINE
- BE BURIED ELECTRIC LINE
- AT AERIAL TELEPHONE LINE
- T BURIED TELEPHONE LINE
- G GAS MAIN
- X FENCE
- DECORATIVE WATER FEATURE
- RETAINING WALL
- CONCRETE
- W/V WATER VALVE
- FIRE HYDRANT
- WM WATER METER
- SS SANITARY SEWER MANHOLE
- CO SANITARY SEWER CLEANOUT
- GT GREASE TRAP MANHOLE
- SDM STORM DRAIN MANHOLE
- RS ROOF DRAIN SUMP
- PP POWER POLE
- LP LIGHT POLE
- E-VAULT ELECTRIC VAULT
- FL FLOOD LIGHT (GROUND)
- ELEC ELECTRIC PEDESTAL
- EM ELECTRIC METER
- M TELEPHONE MANHOLE
- TEL TELEPHONE PEDESTAL
- TV TELEPHONE VAULT
- GMV GAS MAIN VALVE
- GM GAS METER
- SIGN

UTILITY STATEMENT

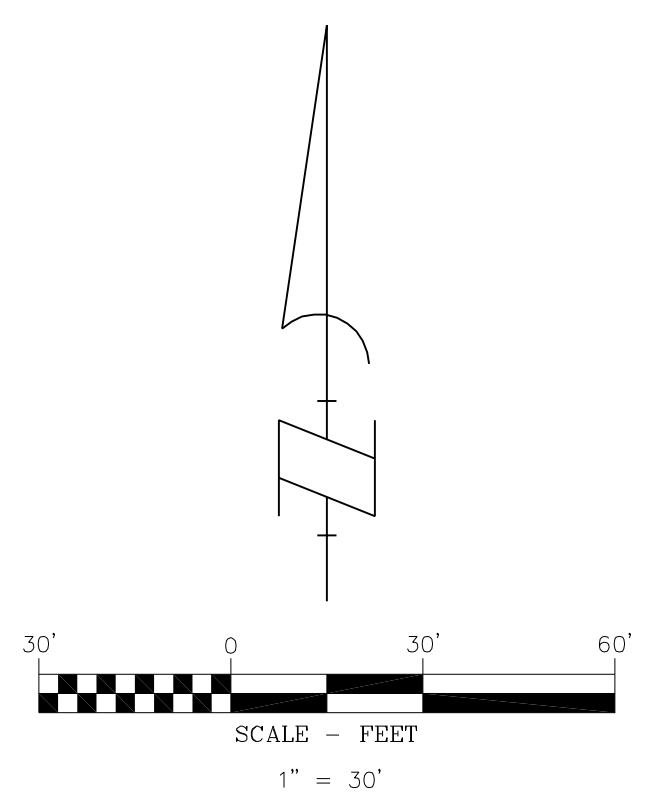
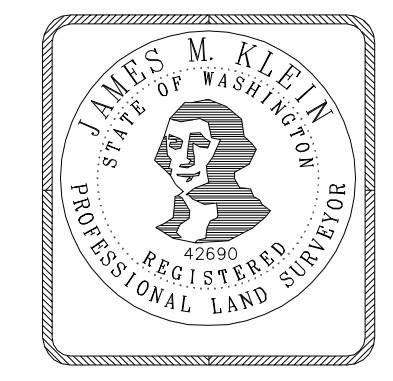
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

BASIS OF BEARINGS

PERFORMED BY LAWSON LAND SURVEYING AND ENGINEERING, RECORDED IN COUNTY SURVEY, BOOK 25, PAGE 181

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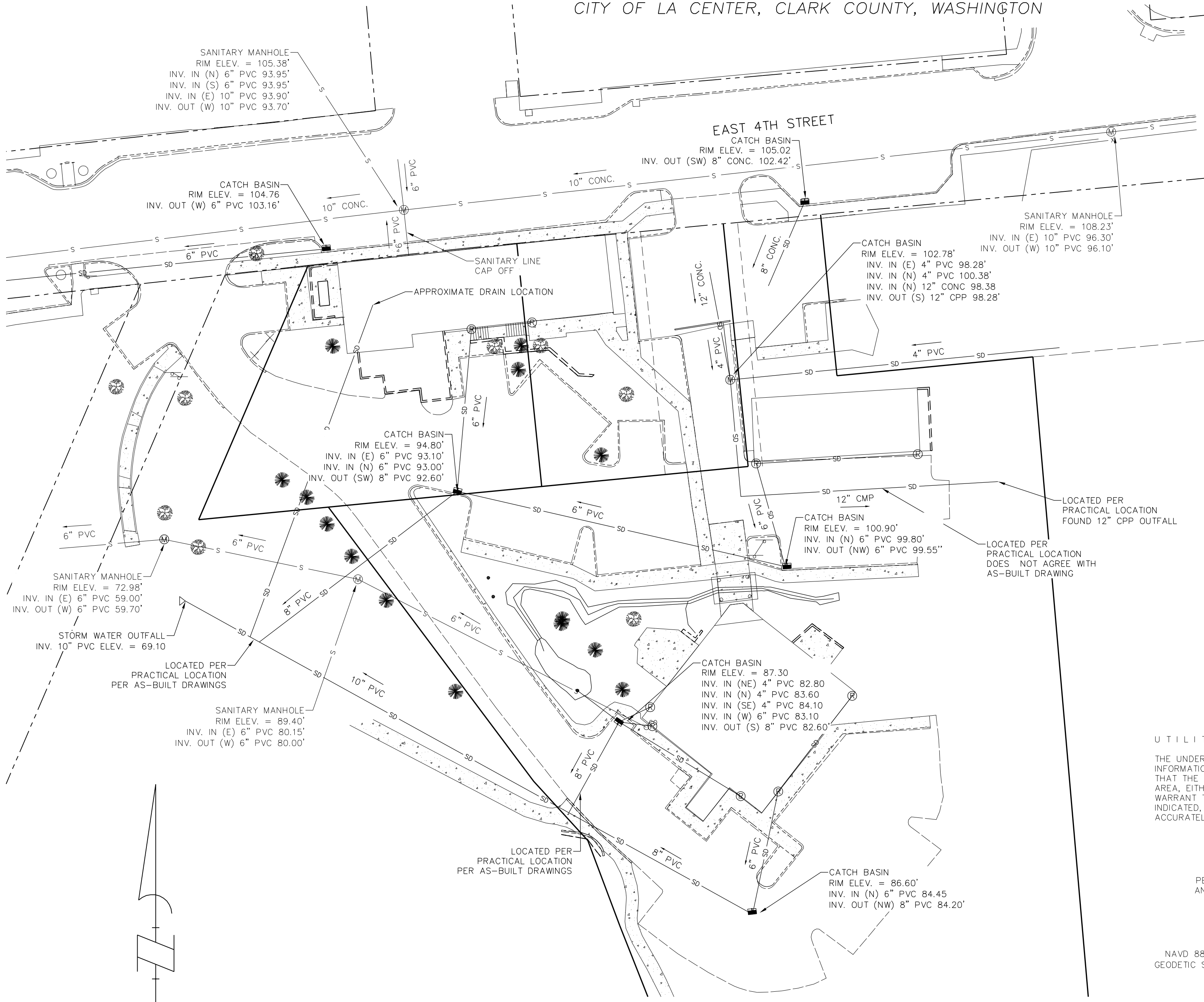
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TOPOGRAPHIC SURVEY

SANITARY AND STORM WATER LAYOUT
 LOCATED IN A PORTION OF BREZEE'S ADDITION (A-22)
 IN THE SW 1/4 OF THE NE 1/4
 SECTION 3, T. 4 N., R. 1 E., W.M.
 CITY OF LA CENTER, CLARK COUNTY, WASHINGTON



LEGEND

- EDGE OF ASPHALT
- == CURB AND GUTTER
- W WATER MAIN
- WS WS IRRIGATION LINE
- S SANITARY SEWER MAIN
- SD STORM DRAIN
- AP AERIAL POWER LINE
- BE BURIED ELECTRIC LINE
- AT AERIAL TELEPHONE LINE
- T BURIED TELEPHONE LINE
- G GAS MAIN
- X FENCE
- DECORATIVE WATER FEATURE
- RETAINING WALL
- CONCRETE
- ⊗ W/V WATER VALVE
- ⊗ FIRE HYDRANT
- ⊗ WM WATER METER
- ⊗ SANITARY SEWER MANHOLE
- ⊗ CO SANITARY SEWER CLEANOUT
- ⊗ GREASE TRAP MANHOLE
- ⊗ STORM DRAIN MANHOLE
- ⊗ ROOF DRAIN SUMP
- ⊗ POWER POLE
- ⊗ LIGHT POLE
- ⊗ E-VAULT ELECTRIC VAULT
- ⊗ FLOOD LIGHT (GROUND)
- ⊗ ELEC ELECTRIC PEDESTAL
- ⊗ EM ELECTRIC METER
- ⊗ TEL TELEPHONE MANHOLE
- ⊗ TEL TELEPHONE PEDESTAL
- ⊗ TV TELEPHONE VAULT
- ⊗ GAS MAIN VALVE
- ⊗ GAS METER
- ⊗ SIGN

UTILITY STATEMENT

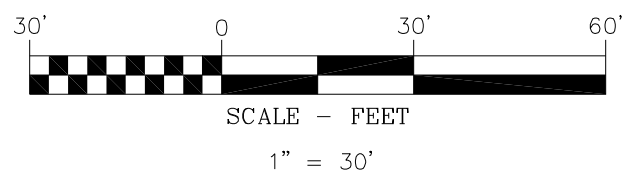
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

BASIS OF BEARINGS

PERFORMED BY LAWSON LAND SURVEYING AND ENGINEERING, RECORDED IN COUNTY SURVEY, BOOK 25, PAGE 181

VERTICAL DATUM

NAVD 88 ORTHOMETRIC HEIGHT, UTILIZING THE NATIONAL GEODETIC SURVEY (NGS) ONLINE POSITIONING USER SERVICES (OPUS) SOFTWARE PROGRAM.



NOTES:

- STORM AND SANITARY SYSTEM LOCATED USING SURVEY INFORMATION ON VISIBLE OBJECTS SUCH AS MANHOLES AND CATCH BASINS.
- UNDERGROUND STORM AND SANITARY DRAINS LOCATED USING AS-BUILT DRAWINGS DATED FEBRUARY 15, 1995 FROM COLF CONSTRUCTION PROVIDED BY THE CLIENT.

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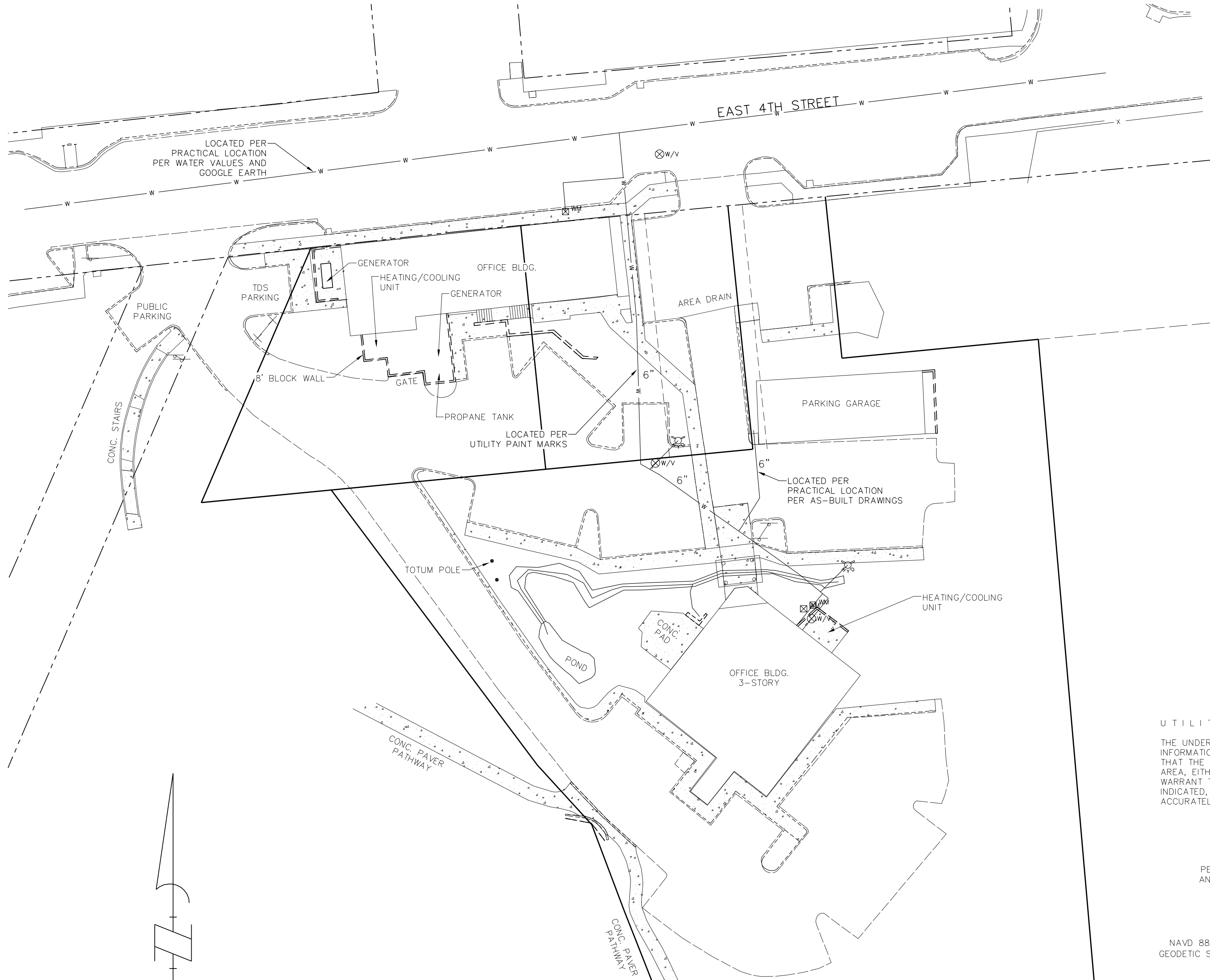
SHEET 5 OF 11
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TOPOGRAPHIC SURVEY

WATERLINE LAYOUT

LOCATED IN A PORTION OF BREZEE'S ADDITION (A-22)
 IN THE SW 1/4 OF THE NE 1/4
 SECTION 3, T. 4 N., R. 1 E., W.M.
 CITY OF LA CENTER, CLARK COUNTY, WASHINGTON



LEGEND

-----	EDGE OF ASPHALT
====	CURB AND GUTTER
— W —	WATER MAIN
— WS — WS —	IRRIGATION LINE
— S —	SANITARY SEWER MAIN
— SD —	STORM DRAIN
— AP —	AERIAL POWER LINE
— BE —	BURIED ELECTRIC LINE
— AT —	AERIAL TELEPHONE LINE
— T —	BURIED TELEPHONE LINE
— G —	GAS MAIN
— X —	FENCE
-----	DECORATIVE WATER FEATURE
-----	RETAINING WALL

	CONCRETE
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	GREASE TRAP MANHOLE
	STORM DRAIN MANHOLE
	ROOF DRAIN SUMP
	POWER POLE
	LIGHT POLE
	ELECTRIC VAULT
	FLOOD LIGHT (GROUND)
	ELECTRIC PEDESTAL
	ELECTRIC METER
	TELEPHONE MANHOLE
	TELEPHONE PEDESTAL
	TELEPHONE VAULT
	GAS MAIN VALVE
	GAS METER
	SIGN

UTILITY STATEMENT*****

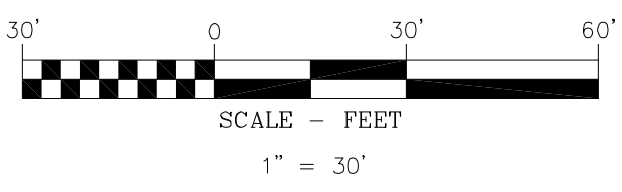
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BASIS OF BEARINGS

PERFORMED BY LAWSON LAND SURVEYING AND ENGINEERING, RECORDED IN COUNTY SURVEY, BOOK 25, PAGE 181

VERTICAL DATUM

NAVD 88 ORTHOMETRIC HEIGHT, UTILIZING THE NATIONAL GEODETIC SURVEY (NGS) ONLINE POSITIONING USER SERVICES (OPUS) SOFTWARE PROGRAM.



NOTES:
 1. WATER LOCATED BY OBSERVATION, SURVEY OF METERS/VALVES AND AS-BUILT DRAWINGS DATED FEBRUARY 15, 1995 FROM COLF CONSTRUCTION PROVIDED BY THE CLIENT.

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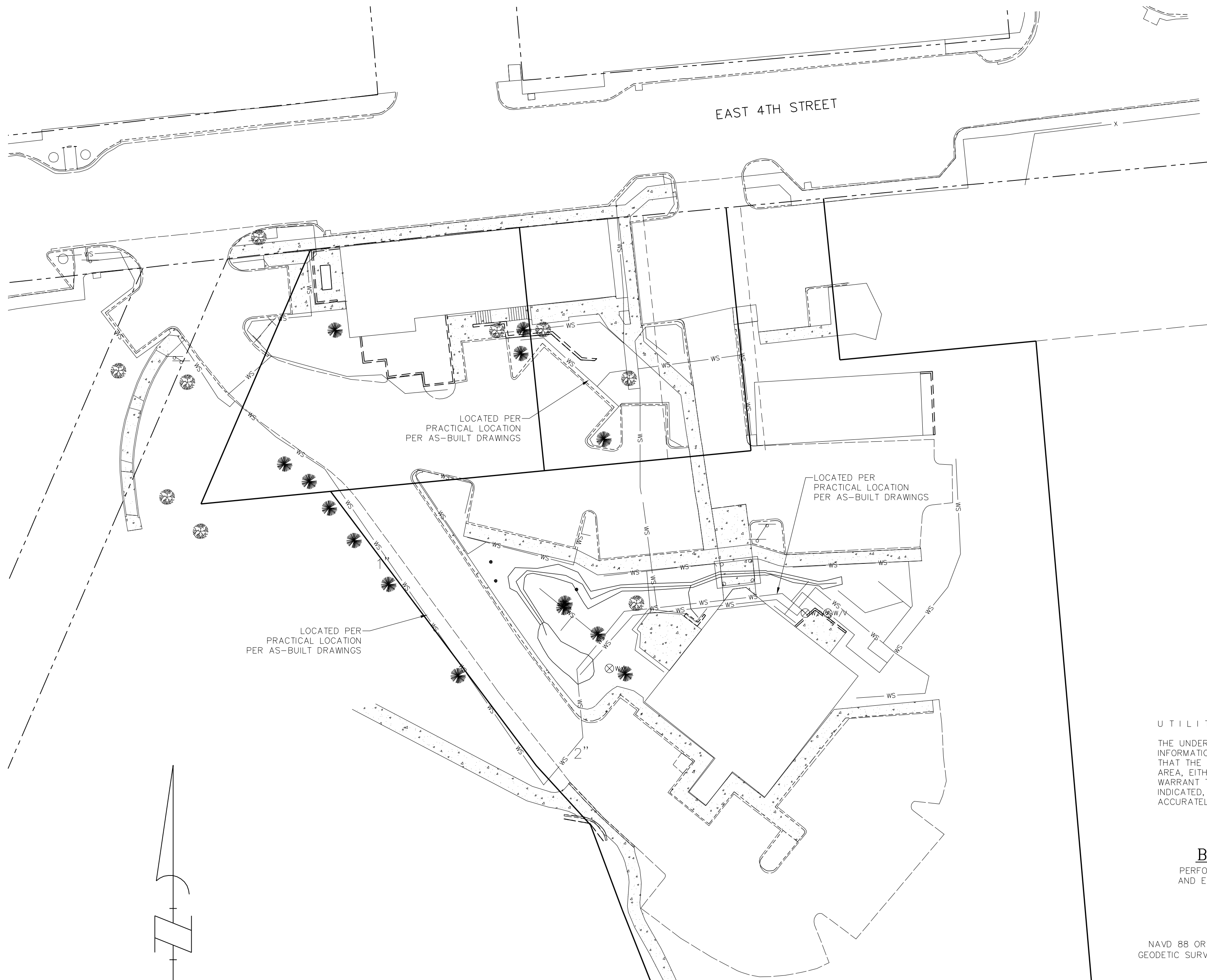
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<input type="checkbox"/>			
<input type="checkbox"/>			

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TOPOGRAPHIC SURVEY

IRRIGATION LAYOUT

LOCATED IN A PORTION OF BREZEE'S ADDITION (A-22)
 IN THE SW 1/4 OF THE NE 1/4
 SECTION 3, T. 4 N., R. 1 E., W.M.
 CITY OF LA CENTER, CLARK COUNTY, WASHINGTON



LEGEND

- EDGE OF ASPHALT
- ==== CURB AND GUTTER
- W — WATER MAIN
- WS — IRRIGATION LINE
- S — SANITARY SEWER MAIN
- SD — STORM DRAIN
- AP — AERIAL POWER LINE
- BE — BURIED ELECTRIC LINE
- AT — AERIAL TELEPHONE LINE
- T — BURIED TELEPHONE LINE
- G — GAS MAIN
- X — FENCE
- DECORATIVE WATER FEATURE
- RETAINING WALL
- CONCRETE
- ⊗ W/V WATER VALVE
- ⊗ FIRE HYDRANT
- ⊗ WM WATER METER
- ⊗ S SANITARY SEWER MANHOLE
- ⊗ CO SANITARY SEWER CLEANOUT
- ⊗ G GREASE TRAP MANHOLE
- ⊗ D STORM DRAIN MANHOLE
- ⊗ R ROOF DRAIN SUMP
- ⊗ P POWER POLE
- ⊗ L LIGHT POLE
- E-VAULT ELECTRIC VAULT
- ⊗ FLOOD LIGHT (GROUND)
- ⊗ ELEC ELECTRIC PEDESTAL
- ⊗ EM ELECTRIC METER
- ⊗ M TELEPHONE MANHOLE
- ⊗ TEL TELEPHONE PEDESTAL
- ⊗ TV TELEPHONE VAULT
- ⊗ GV GAS MAIN VALVE
- ⊗ GM GAS METER
- ⊗ SIGN

UTILITY STATEMENT*****

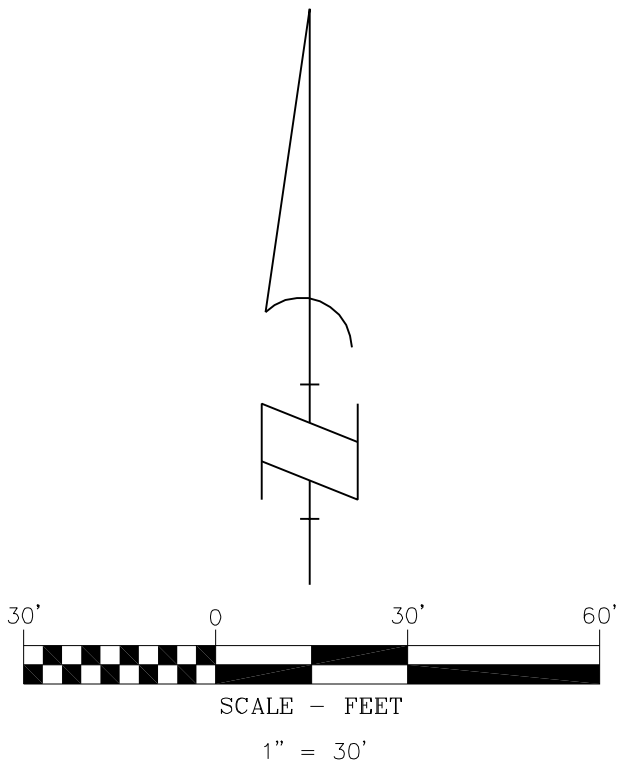
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

BASIS OF BEARINGS

PERFORMED BY LAWSON LAND SURVEYING AND ENGINEERING, RECORDED IN COUNTY SURVEY, BOOK 25, PAGE 181

VERTICAL DATUM

NAVD 88 ORTHOMETRIC HEIGHT, UTILIZING THE NATIONAL GEODETIC SURVEY (NGS) ONLINE POSITIONING USER SERVICES (OPUS) SOFTWARE PROGRAM.



NOTES:
 1. IRRIGATION LOCATED BY AS-BUILT DRAWINGS DATED FEBRUARY 15, 1995 FROM COLF CONSTRUCTION PROVIDED BY THE CLIENT. NO IRRIGATION LINES WERE LOCATED IN THIS SURVEY.

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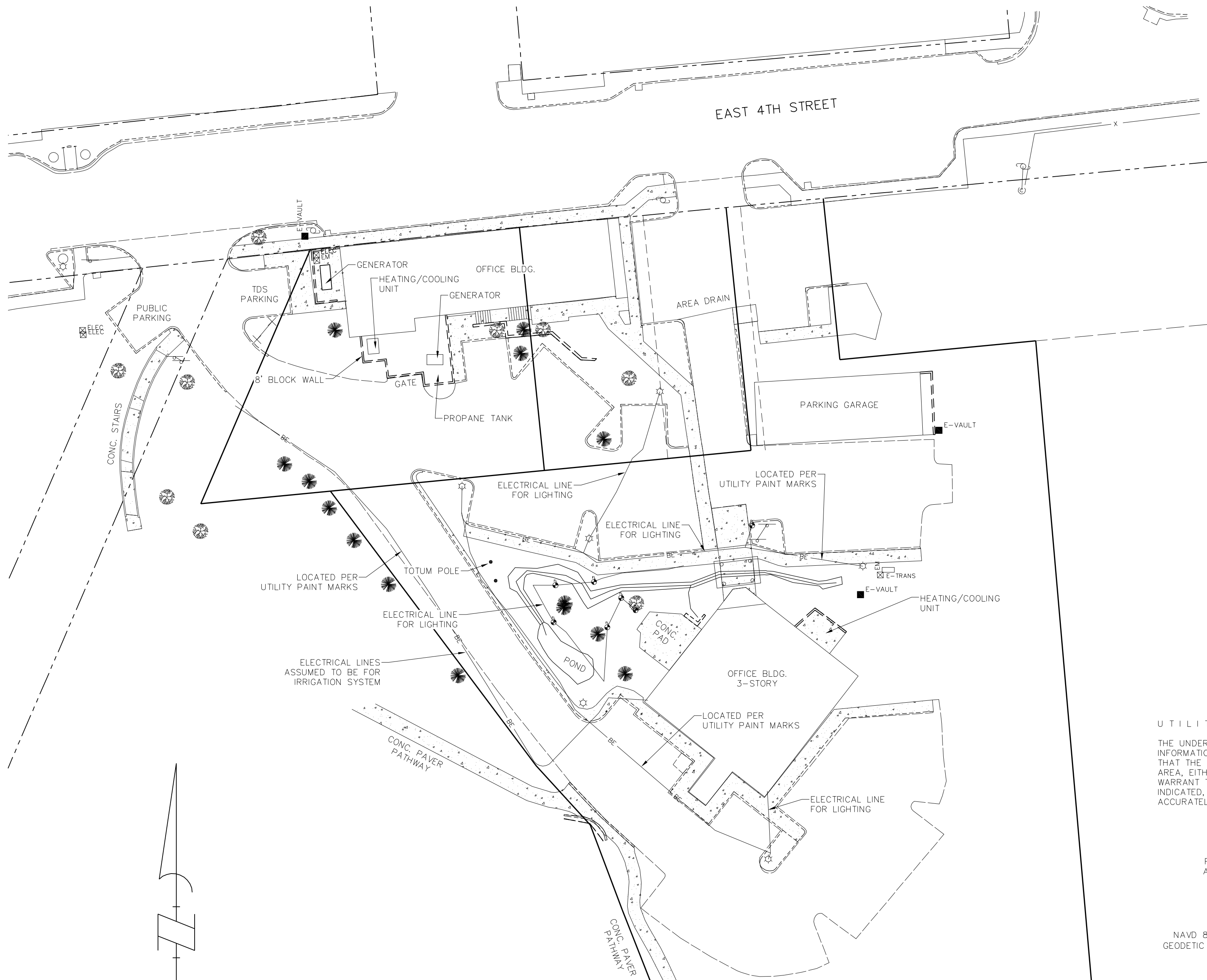
SHEET 7 OF 11
 WILLAMETTE MERIDIAN
 CLARK COUNTY, WASHINGTON

1/4 SEC	T.	R.
3	4N.	1E.

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TOPOGRAPHIC SURVEY

SECONDARY ELECTRICAL LAYOUT
 LOCATED IN A PORTION OF BREZEE'S ADDITION (A-22)
 IN THE SW 1/4 OF THE NE 1/4
 SECTION 3, T. 4 N., R. 1 E., W.M.
 CITY OF LA CENTER, CLARK COUNTY, WASHINGTON



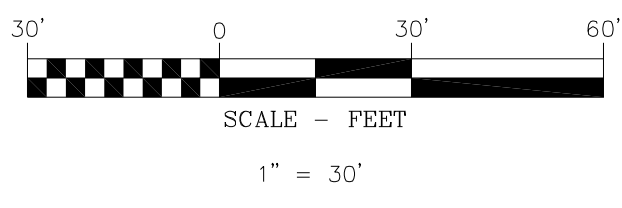
- ### LEGEND
- EDGE OF ASPHALT
 - ==== CURB AND GUTTER
 - W WATER MAIN
 - WS IRRIGATION LINE
 - S SANITARY SEWER MAIN
 - SD STORM DRAIN
 - AP AERIAL POWER LINE
 - BE BURIED ELECTRIC LINE
 - AT AERIAL TELEPHONE LINE
 - T BURIED TELEPHONE LINE
 - G GAS MAIN
 - X FENCE
 - DECORATIVE WATER FEATURE
 - RETAINING WALL

- CONCRETE
- ⊗ W/V WATER VALVE
- ⊗ F FIRE HYDRANT
- ⊗ WM WATER METER
- ⊗ S SANITARY SEWER MANHOLE
- ⊗ CO SANITARY SEWER CLEANOUT
- ⊗ G GREASE TRAP MANHOLE
- ⊗ D STORM DRAIN MANHOLE
- ⊗ R ROOF DRAIN SUMP
- ⊗ P POWER POLE
- ⊗ L LIGHT POLE
- E-V VAULT ELECTRIC VAULT
- ⊗ FL FLOOD LIGHT (GROUND)
- ⊗ ELEC ELECTRIC PEDESTAL
- ⊗ EM ELECTRIC METER
- ⊗ M TELEPHONE MANHOLE
- ⊗ TEL TELEPHONE PEDESTAL
- ⊗ TV TELEPHONE VAULT
- ⊗ G/V GAS MAIN VALVE
- ⊗ G/M GAS METER
- ⊗ S SIGN

UTILITY STATEMENT *****
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

BASIS OF BEARINGS
 PERFORMED BY LAWSON LAND SURVEYING AND ENGINEERING, RECORDED IN COUNTY SURVEY, BOOK 25, PAGE 181

VERTICAL DATUM
 NAVD 88 ORTHOMETRIC HEIGHT, UTILIZING THE NATIONAL GEODETIC SURVEY (NGS) ONLINE POSITIONING USER SERVICES (OPUS) SOFTWARE PROGRAM.



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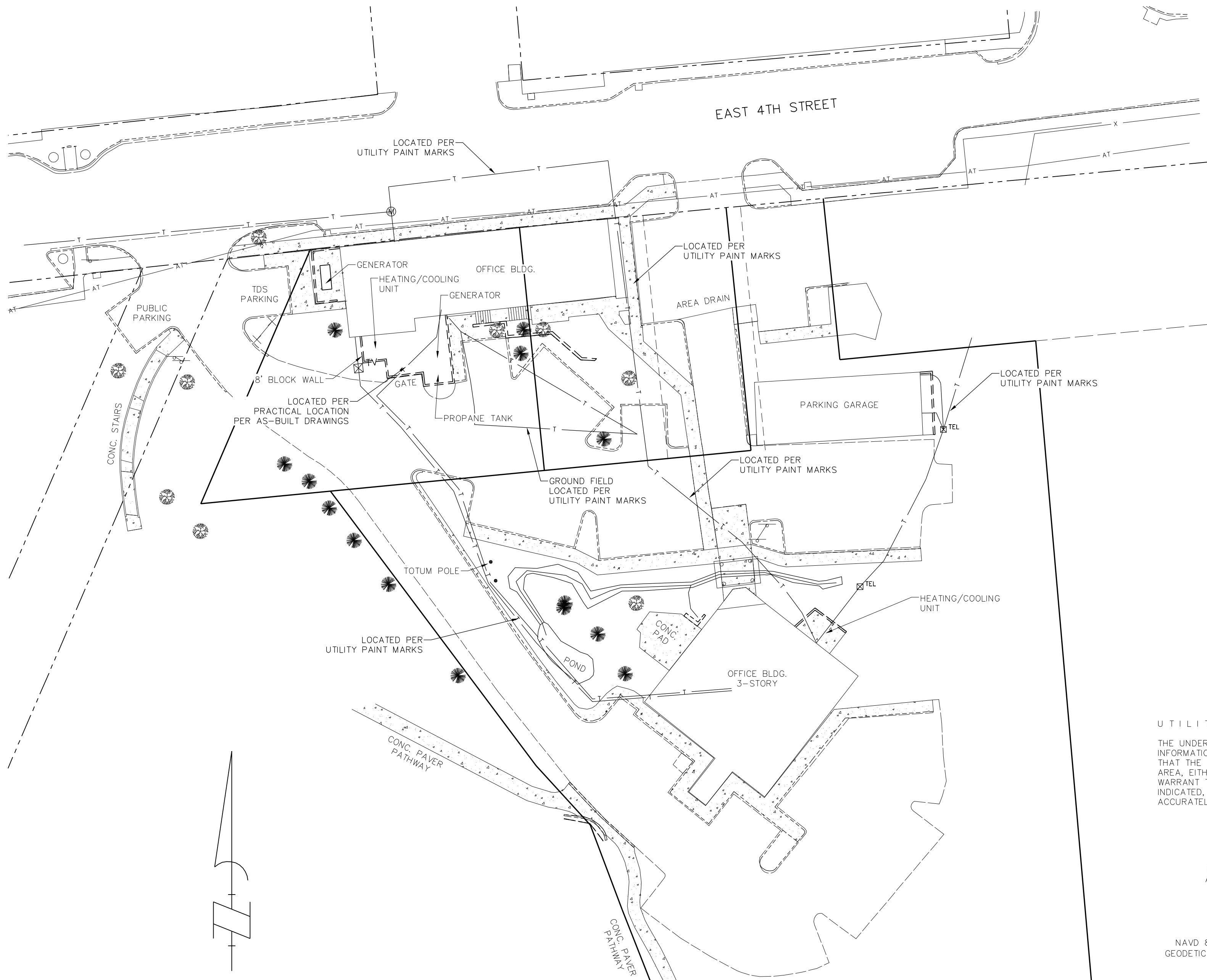
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3	4N.	1E.

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TOPOGRAPHIC SURVEY

COMMUNICATION LAYOUT

LOCATED IN A PORTION OF BREZEE'S ADDITION (A-22)
 IN THE SW 1/4 OF THE NE 1/4
 SECTION 3, T. 4 N., R. 1 E., W.M.
 CITY OF LA CENTER, CLARK COUNTY, WASHINGTON



LEGEND

- EDGE OF ASPHALT
- == CURB AND GUTTER
- W WATER MAIN
- WS IRRIGATION LINE
- S SANITARY SEWER MAIN
- SD STORM DRAIN
- AP AERIAL POWER LINE
- BE BURIED ELECTRIC LINE
- AT AERIAL TELEPHONE LINE
- T BURIED TELEPHONE LINE
- G GAS MAIN
- X FENCE
- DECORATIVE WATER FEATURE
- RETAINING WALL
- CONCRETE
- W/V WATER VALVE
- FIRE HYDRANT
- WM WATER METER
- S SANITARY SEWER MANHOLE
- CO SANITARY SEWER CLEANOUT
- G GREASE TRAP MANHOLE
- D STORM DRAIN MANHOLE
- R ROOF DRAIN SUMP
- P POWER POLE
- L LIGHT POLE
- E-VAULT ELECTRIC VAULT
- FLOOD LIGHT (GROUND)
- ELEC ELECTRIC PEDESTAL
- EM ELECTRIC METER
- TEL TELEPHONE MANHOLE
- TEL TELEPHONE PEDESTAL
- TV TELEPHONE VAULT
- G GAS MAIN VALVE
- GM GAS METER
- SIGN

UTILITY STATEMENT*****

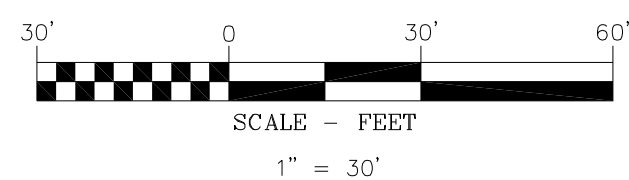
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BASIS OF BEARINGS

PERFORMED BY LAWSON LAND SURVEYING AND ENGINEERING, RECORDED IN COUNTY SURVEY, BOOK 25, PAGE 181

VERTICAL DATUM

NAVD 88 ORTHOMETRIC HEIGHT, UTILIZING THE NATIONAL GEODETIC SURVEY (NGS) ONLINE POSITIONING USER SERVICES (OPUS) SOFTWARE PROGRAM.



NOTES:
 1. COMMUNICATION LOCATED BY OBSERVATION AND AS-BUILT DRAWINGS DATED FEBRUARY 15, 1995 FROM COLF CONSTRUCTION PROVIDED BY THE CLIENT.

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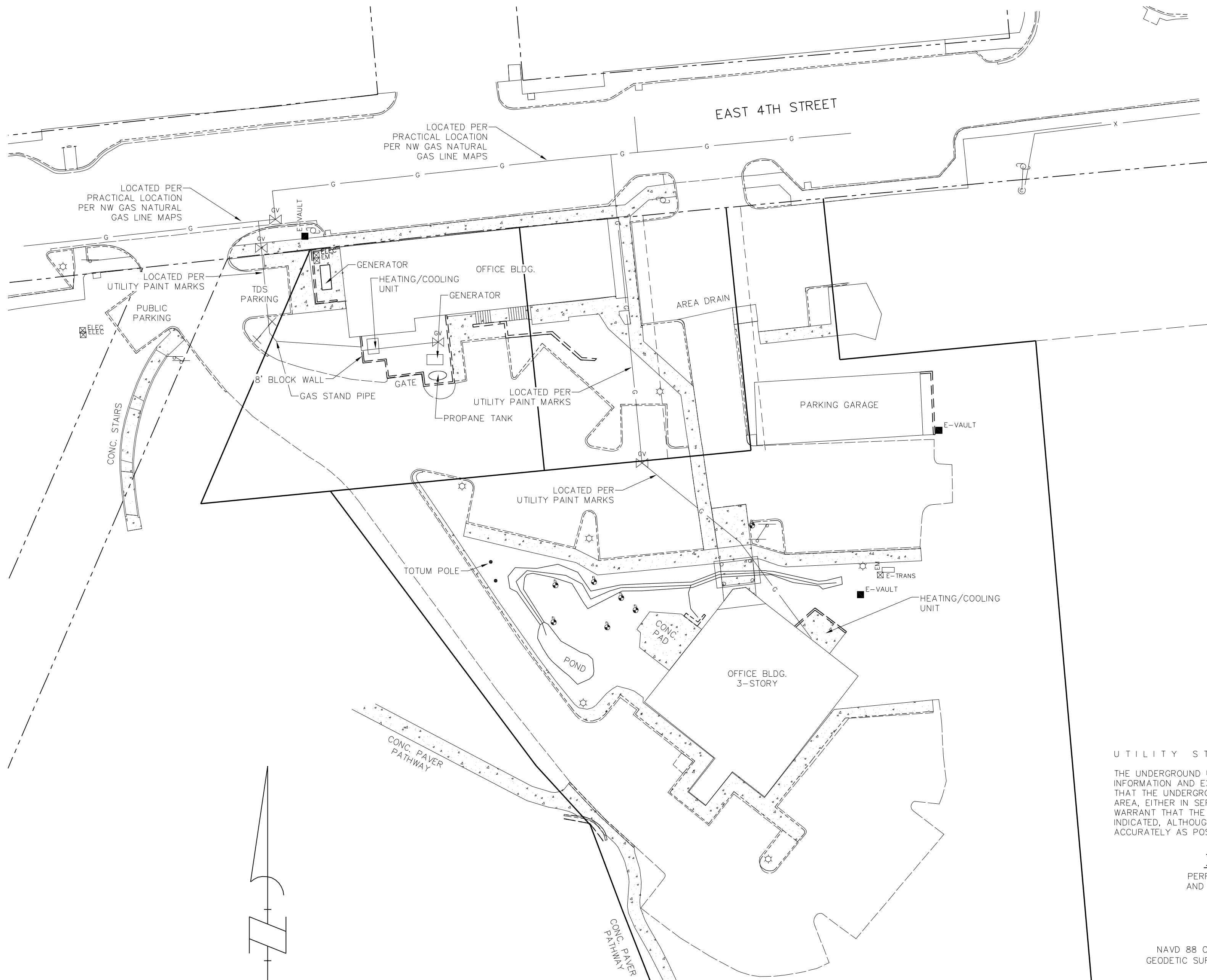
SHEET 10 OF 11
 WILLAMETTE MERIDIAN
 CLARK COUNTY, WASHINGTON

1/4	SEC	T.	R.
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TOPOGRAPHIC SURVEY

GAS LINE LAYOUT

LOCATED IN A PORTION OF BREZEE'S ADDITION (A-22)
 IN THE SW 1/4 OF THE NE 1/4
 SECTION 3, T. 4 N., R. 1 E., W.M.
 CITY OF LA CENTER, CLARK COUNTY, WASHINGTON



LEGEND

- EDGE OF ASPHALT
- == CURB AND GUTTER
- W — WATER MAIN
- WS — WS — IRRIGATION LINE
- S — SANITARY SEWER MAIN
- SD — STORM DRAIN
- AP — AERIAL POWER LINE
- BE — BURIED ELECTRIC LINE
- AT — AERIAL TELEPHONE LINE
- T — BURIED TELEPHONE LINE
- G — GAS MAIN
- X — FENCE
- DECORATIVE WATER FEATURE
- RETAINING WALL
- CONCRETE
- ⊗ W/V WATER VALVE
- ⊗ FIRE HYDRANT
- ⊗ WM WATER METER
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ GREASE TRAP MANHOLE
- ⊙ STORM DRAIN MANHOLE
- ⊙ ROOF DRAIN SUMP
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- E-VAULT ELECTRIC VAULT
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- ⊗ TEL TELEPHONE PEDESTAL
- ⊗ TV TELEPHONE VAULT
- ⊗ G/V GAS MAIN VALVE
- ⊙ G/M GAS METER
- ⊙ SIGN

UTILITY STATEMENT*****

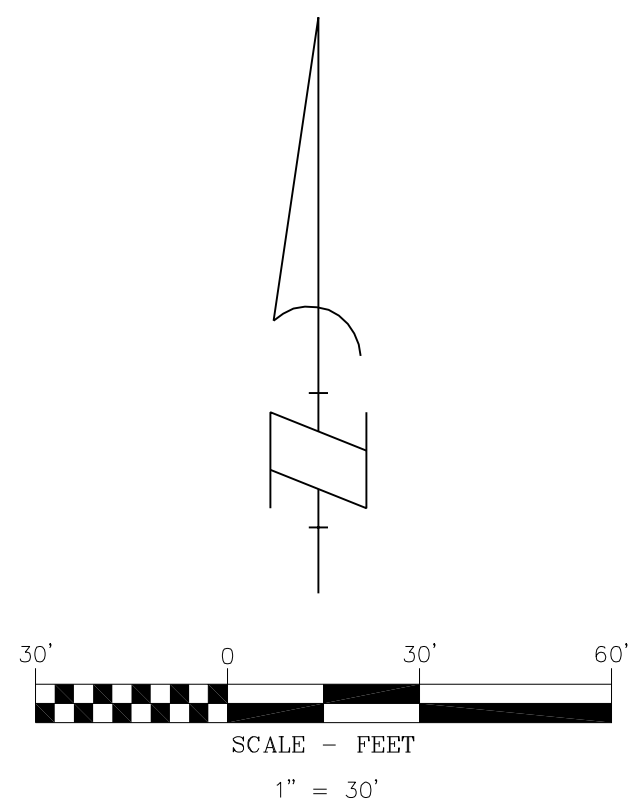
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BASIS OF BEARINGS

PERFORMED BY LAWSON LAND SURVEYING AND ENGINEERING, RECORDED IN COUNTY SURVEY, BOOK 25, PAGE 181

VERTICAL DATUM

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