

	<p>Final Staff Report & Notice of Decision Tapani Inc. Sign Permit (File # 2022-012-SIGN)</p>
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PROPOSAL:	The applicant requests to place two individual, wall-mounted 4-foot X 8-foot signs on the existing back walls. The signs would be spaced approximately 200 feet apart. The total signage would equal 64 square feet and face NW Paradise Park Road.
LOCATION:	31313 NW Paradise Park Rd, Ridgefield, WA 98642. #24 SEC 9 T4N R1EWM 4.42 A Assessor's PIN 211226000
APPLICANT:	Shane Tapani, Tapani Inc, 1904 SE 6 th Place, Battle Ground, WA 98604 Email: shanet@tapani.com Phone: 360-687-1148
ZONING:	Junction Plan (JP); vested as C-2 Community Commercial under a 2011 development agreement (4791050 AGR).
APPROVAL CRITERIA:	The City reviewed the application for compliance with the La Center Municipal Code (LCMC) Chapter 8.60, Sign Regulations.
Submittal Date:	Complete application on April 6, 2022
SEPA:	This project is categorically exempt per LCMC 18.310.230 and WAC 197-11-800(2)(c).
DECISION:	Approval subject to conditions.
DECISION DATE:	May 16, 2022
CITY REVIEWER:	Ethan Spoo, AICP, Consulting Planner and Tony Cooper, PE, City Engineer

CONTACT LIST

OWNER

Skip Carlson
31313 NW Paradise Park Rd
Ridgefield, WA 98642

APPLICANT

Tapani Inc
Shane Tapani
1904 SE 6th Place
Battle Ground, WA 98604
Phone: 360-687-1148

SIGN INSTALLER

Same as applicant

LA CENTER STAFF

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Overview and Procedural Background

The applicant is proposing to place two wall-mounted signs along NW Paradise Park Road. The two signs would be 32 square feet each (4x8-feet) and spaced approximately 200 feet apart. The total sign area is 64 square feet and will provide the name of the business along with website and telephone number. The applicant's plans for the sign are included in Attachment A.

Approval Criteria

LCMC 8.60.030 (3)

(3) Application. Application for a sign permit shall be accompanied by the required fee and shall be made in writing upon forms provided by the city.

(b) For any sign visible from an interstate freeway travel lane, the applicant shall demonstrate compliance with the Highway Advertising Control Act as administered by the Washington State Department of Transportation.

LCMC 8.60.030(4)

(4) Approval Criteria. The department shall approve a sign permit where the applicant demonstrates compliance with all of the following approval criteria:

- (a) The proposed sign is not one prohibited under LCMC 8.60.020(2)(a) through (k), Prohibited Signs; and*
- (b) The proposed sign complies with all applicable dimensional, durational, locational and other requirements of this chapter.*

Finding(s):

- The applicant proposes 2 wall-mounted signs. The signs are not a prohibited type under 8.60.020(a) through (k).
- The sign complies with the applicable dimensional, durational, locational, and other requirements of this chapter, as demonstrated in materials submitted by the applicant, and documented in this staff report.
- A **condition of approval** is that the signage shall comply with the Highway Advertising Control Act prior to sign installation.
- Conclusion: The proposed sign meets the approval criteria for the City to issue a sign permit as further detailed in this staff report.

LCMC 8.60.050 General Requirements Applicable to All Signs

(1) General Requirements. The following requirements apply to all signs allowed in the city:

- (a) Building and Specialty Code Compliance. All signs, whether regulated by this chapter or not, shall meet all applicable construction and operation standards of the International Building Code adopted by the city of La Center. Where these codes conflict with the requirements of this chapter, the more stringent or restrictive shall control.*
- (b) No sign shall be insecurely erected, or constructed so as to constitute a safety hazard, fire hazard or a nuisance.*
- (c) Sign Obstructing View, Passage or Safety. No sign shall:*
 - i. Obstruct free ingress to or egress from any door, window, fire escape, alley, driveway, fire lane, access from the sidewalk to transit stop areas, designated disabled parking spaces, disabled access ramps or building exits;*
 - ii. Be located so as to obstruct or interfere with intersection sight distance for vehicles exiting a driveway or street in accordance with the line of sight triangle requirements in the La Center engineering standards;*

City of La Center, Washington

- iii. *Obstruct or interfere in any way with the public's ability to clearly view government signs;*
 - iv. *By reason of their size, location, movement, content, coloring, or manner of illumination be subject to being confused with a government sign; or*
 - v. *Interfere in any way with traffic, visibility or passage within the public right-of-way, including vehicle travel lanes, sidewalks and bike lanes.*
- (d) *Lighting. Signs, excluding temporary signs and canopy signs, may be lit, either from within the sign structure or by external lights shining on the sign face. External light sources shall be aimed downward and be shielded to direct light solely on the sign face, and in no case shall sign lights shine directly onto an adjacent property, buildings or the public right-of-way or cast glare into the eyes of pedestrians or motorists in the public right-of-way. Flashing, strobe and rotating lights are prohibited in all situations. Sign lights shall not substitute for security or safety lighting that may otherwise be required.*
- (f) *Property Owner Consent. No sign shall be erected on property or a structure (e.g., a building or utility pole) owned by someone other than the person responsible for the sign without the express consent of the property's owner. If the city cannot verify owner consent, the sign will be deemed unlawful and subject to removal.*
- (h) *Two-Sided Signs. Freestanding and projecting signs may have maximum of two faces. The area of a two-sided sign shall be the largest area of one face of the sign. Further, a two-sided sign shall be considered one sign for the purpose of determining the number of signs allowed.*

Finding(s):

- Compliance with the International Building Code is not required before sign construction begins. Since the signs will be securely attached to a concrete block wall and will lie flush with the wall, the signs will not constitute a safety hazard, fire hazard, or become a nuisance. A **condition of approval** is that the applicant shall ensure the sign is securely fastened to the wall.
 - The proposed signs would be located at the commercial landscape supply business located at the project site. Ingress and egress to the subject site is to the north of the proposed sign locations and to the south adjacent to the intersection of NW Paradise Park Rd and NW 20th Avenue. The signs would not obstruct free ingress or egress from doors, windows, fire escapes, alleys, driveways, fire lanes, from the sidewalk to transit stops or disabled parking or access ramps or building exits. See the applicant's site plan in Exhibit A. The City Engineer has verified that the sign will not interfere with vision clearance.
 - The proposed signage will not obstruct or interfere with the public's ability to view government signs. There are no government signs within the proximity of the site.
 - The application does not propose any kind of illumination for the signage. **As a condition of approval**, any added exterior lighting shall meet the requirements of LCMC 8.60.050(1)(e) including being downward directed and shielded so that light does not shine directly on adjacent properties, buildings, or the public right-of-way. Flashing, strobe, and rotating lights are prohibited.
 - The authorized signatory for the property owner, Skip Carlson, signed the permit application.
 - Conclusion: As conditioned, the above requirements are met
- (i) *Freestanding Signs. When a freestanding sign is allowed by this chapter, Figures 8.60.050(1) through 8.60.050(5) illustrate the five allowed freestanding sign configurations: monument, single and dual pedestal, and single and dual pylon. The signs shall comply with the dimensional standards specified in these figures and the area and height requirements specified in this chapter.*
- (j) *Freestanding Sign Base Material. The sign base and support structure of freestanding signs must be constructed of or covered with quality materials such as real or faux stone, brick, stucco, textured wood, tile, and textured concrete.*

City of La Center, Washington

- (k) *Freestanding Sign Landscaping.* All freestanding signs shall have landscaping surrounding the base of the sign equal in area to a minimum of 80 percent of the sign face area. Landscaping shall consist of grass, low shrubbery, and/or ground cover. Whenever possible and appropriate, native vegetation that is drought resistant and requires minimal or low maintenance shall be used for sign-related landscaping. Landscaping shall be well maintained. Sign-related landscaping may be included in any calculation of total landscaping required in a zoning district.
- (n) (n) *Digital Video Displays.* A digital video display is not a separately allowed sign. Where they are allowed they may be integrated within an allowed freestanding sign. A digital video display shall comply with each of the following requirements:
- i. *The display area shall not exceed 30 square feet or as otherwise limited by an allowed sign area.*
 - ii. *Maximum luminance shall not exceed 50 nits during nighttime hours and 5,000 nits during daylight hours. The applicant shall provide certified data verifying compliance with these luminance requirements.*
 - iii. *The display shall have automated control of sign luminance based on current ambient lighting conditions.*
 - iv. *Digital video displays shall only be on during business hours.*
 - v. *Minimum hold between messages shall not be less than eight seconds.*
 - vi. *No motion shall be allowed except for instantaneous change of message.*
 - vii. *Digital video displays shall not be oriented towards a residential district within 1,000 feet.*
 - viii. *Digital video displays shall not be located in wetland, fish and wildlife habitat conservation, or frequently flooded critical areas or their associated buffers*
- (o) *Electronic Reader Board.* An electronic reader board is not a separately allowed sign. Where they are allowed they may be integrated within an allowed freestanding sign. An electronic reader board shall comply with each of the following requirements:
- i. *The display area shall not exceed 30 square feet or as otherwise limited by an allowed sign area.*
 - ii. *Maximum luminance shall not exceed 100 nits during nighttime hours and 5,000 nits during daylight hours. The applicant shall provided certified data verifying compliance with these luminance requirements.*
 - iii. *The display shall have automated control of sign luminance based on current ambient lighting conditions.*
 - iv. *Electronic reader boards shall only be on during business hours.*
 - v. *Minimum hold between messages shall not be less than four seconds.*
 - vi. *No motion shall be allowed except for instantaneous change of message.*
 - vii. *Electronic reader boards shall not be located in wetland, fish and wildlife habitat conservation, or frequently flooded critical areas or their associated buffers.*

Finding(s):

- The two signs are proposed to lie flush against the existing concrete block wall and are not freestanding or monument signs. The signs also do not have proposed illumination or electronic reader components.
- Conclusion: the standards listed above are not applicable.

18.60.080 Signs in the JP (La Center junction planning district) zone

(1) All signs in the JP zone shall comply with the requirements of this section and the requirements of LCMC [8.60.050](#), General requirements applicable to all signs, unless otherwise allowed in this section

(2) Signs in the town center (TC), town general (TG) and town employment (TE) zones shall comply with the following requirements:

(a) *Individual Business Signs.* The following are the signs allowed for an individual business. A total sign area is allocated to each business and this maximum sign area can be distributed between allowed wall signs, freestanding signs, and projecting signs not to exceed the maximum individual sign areas specified below. The total sign area allocated to each business shall not exceed one square foot per linear foot of a primary frontage plus one-half square foot per linear foot of secondary frontage and frontage abutting a parking lot, with an allowable minimum of 36 square feet allocated to each business. See Figure 8.60.070(1) for an illustration of this calculation.

(i) *Wall Sign.* Maximum sign face area for an individual wall sign shall not exceed 36 square feet. One wall sign may be placed on each business frontage. Two wall signs may be installed on the same business frontage if they are separated by more than 200 feet. Wall signs shall not extend above a roof line.

Finding(s):

- The proposed location of the sign is in the Town General designation.
- The signs are 32 square foot wall-signs that are spaced 200 feet apart. The two signs are above the minimum allowed square footage and meet the maximum square footage permitted.
- The applicant's sign application indicates that the signs will be placed on top of the Ecoblock walls. However, as per LCMC 8.60.080(2)(a)(i), the wall signs shall not extend beyond the top off the Ecoblock walls. A **condition of approval** is that the signage shall not extend beyond the top of the wall and shall be fastened to the face of the wall.
- The proposed sign complies with the general requirements in LCMC 8.60.050 and 8.60.080 as demonstrated in this staff report.
- Conclusion: The requirements of this section are met as conditioned.

CONCLUSIONS & DECISION

The review authority finds the applicant has sustained the burden of proving the application complies with the applicable provisions of La Center's Municipal Code. Therefore, the subject application is hereby APPROVED subject to the following conditions of approval:

1. The signage shall comply with the Highway Advertising Control Act prior to sign installation.
2. The applicant shall ensure the sign is securely fastened to the wall.
3. Any added exterior lighting shall meet the requirements of LCMC 8.60.050(1)(e) including being downward directed and shielded so that light does not shine directly on adjacent properties, buildings, or the public right-of-way.
4. The signage shall not extend beyond the top of the wall and shall be fastened to the face of the wall.

City of La Center, Washington

APPEALS

Decisions on sign permits are appealable to the City Council per 8.60.030(2)(d).



Bryan Kast, P.E.
Public Works Director



Anthony Cooper, PE
City Engineer

Attachments

- Attachment A: Sign permit application materials

Attachment A

Sign Permit Application



City of La Center, Planning Services
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La Center, WA 98629
www.ci.lacenter.wa.us
Ph. 360.263.7665 Fax: 360.263.7666
www.ci.lacenter.wa.us

Permit Type: Banner Monument Temporary Commercial Residential Other

Legal Property Owner: Skip Carlson Phone: _____

Address: 31313 NW Paradise Park Rd Ridgefield WA 98641 Email: _____

Applicant (if different from owner): Tapani Inc Phone: 360-687-1148

Address: 1904 SE 6th PI Battle Ground WA 98604 Email: shanet@tapani.com

Sign Installer: Tapani Inc. Phone: 360-687-1148

Date Sign Installed: _____ Date Sign To Be Removed: _____

Sign Location: On top of rock wall material bins, 2 identical signs

Sign Dimensions: Height: 4' Width: 8' SQ. Ft. Total: 32' Illuminated N/A

Additional Documentation As Needed Demonstrating Compliance with LCMC 8.60

- Sign Design (Scaled drawings showing height, width, area, color, illumination and number and location of proposed signs.)
- Site Plan (Documenting existing signs, setbacks and/or facade dimensions.)
- Landscaping Plan (if required)
- Lighting Plan (if required)

Property Owner Signature: *Skip Carlson* Date 04-01-22

Applicant Signature: *Shane Tapani* Date 04-04-22

Office Use Only

Permit # _____ Fees: \$ _____

Received By _____ Date Paid: _____

Date Received: _____ Receipt # _____

Date Approved: _____ Procedure: Type I

Zoning Designation: _____ Type II

Notes _____ Type III



1904 SE 6TH PLACE
BATTLE GROUND, WA 98604

360.687.1148
www.tapani.com

PROJECT
LCR

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OR REPRODUCED IN ANY MANNER
WITHOUT PRIOR WRITTEN PERMISSION

REVISIONS:

1 01/17/2022

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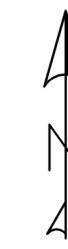
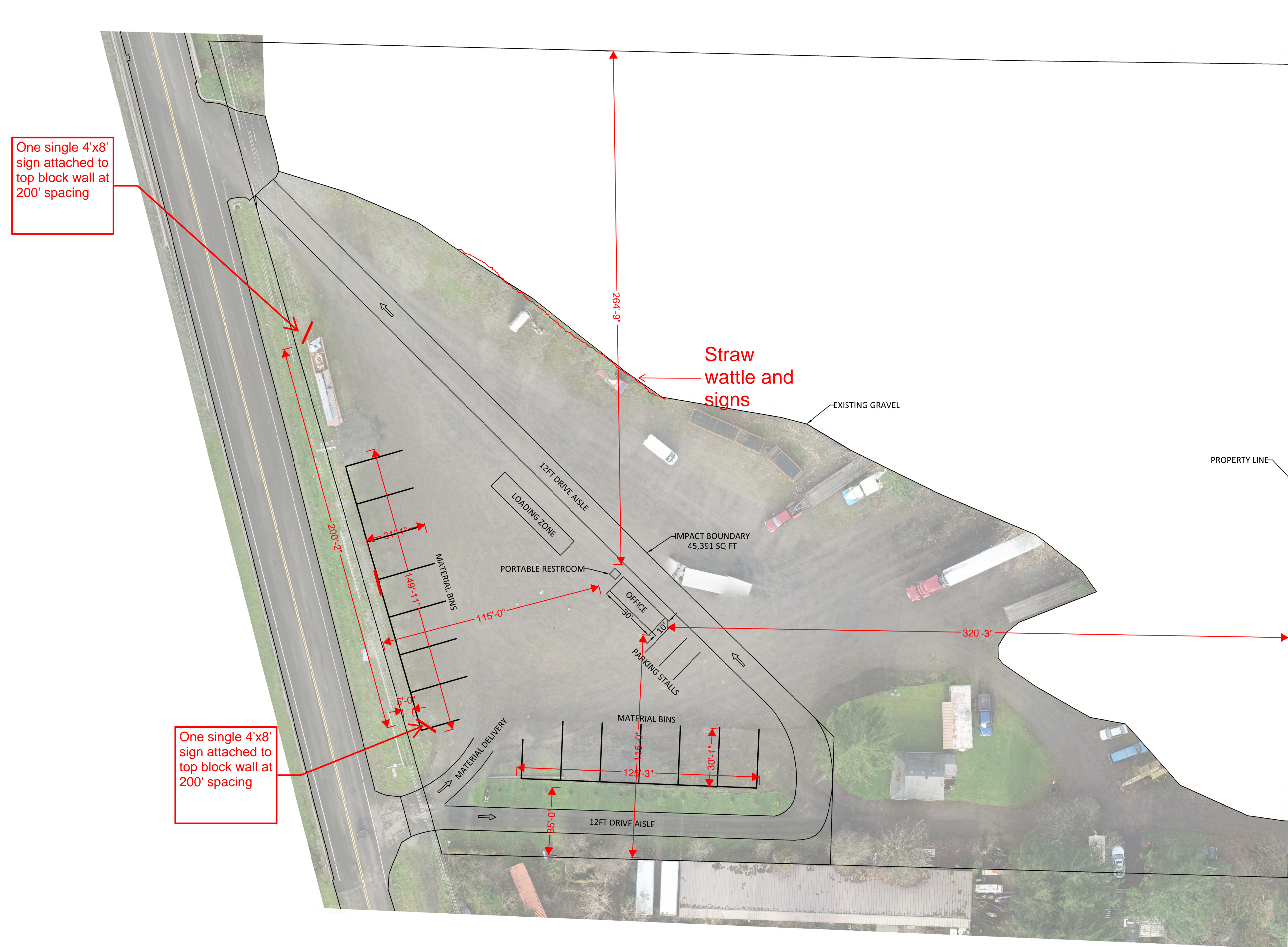
SITE PLAN

DRAWN BY: KSH

CHECKED BY: KSH

SHEET:

01



0' 30' 60'
SCALE: 1"=30'

8'

THE ROCKERY



4'

360.666.6719
TheRockeryNW.com

4'

Bark | Soil | Gravel | Sand | Rock

8'



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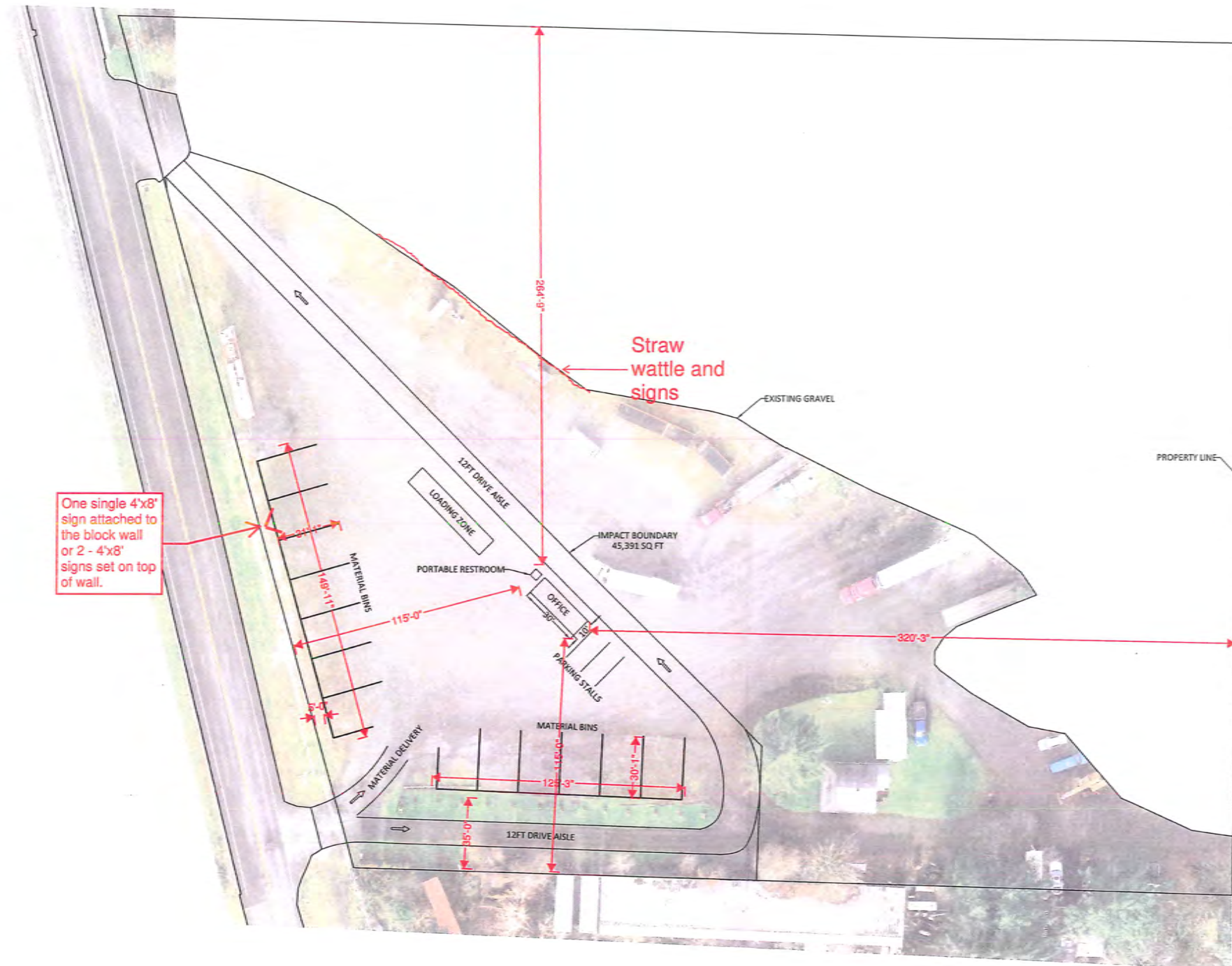
SITE PLAN

DRAWN BY: KSH

CHECKED BY: KSH

SHEET:

01



0' 30' 60'
SCALE: 1"=30'