	<p><b>Final Staff Report &amp; Notice of Decision</b>  <b>Stephens Hillside Monument Sign Permit</b>                  (File # 2022-038-SIGN)</p>
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<b>PROPOSAL:</b>	The applicant is requesting to place one freestanding, monument sign at the Stephens Hillside Farm subdivision entrance. The sign face area would be 24.21 square feet (SF).
<b>LOCATION:</b>	W 19 <sup>th</sup> Street and Northfork (Aspen) Avenue. The sign would be located at the entrance of the Stephens Hillside Farm Subdivision at the intersection of W 19 <sup>th</sup> St. and Northfork (Aspen) Avenue. The sign would be located on Lot 1 within the development.
<b>APPLICANT:</b>	Gabriel Helmes, Hillside Development LLC. 11815 NE 113 <sup>th</sup> St, Suite 104 Vancouver, WA. Email: gabe@dlc-architecture.com. Phone: 360-907-4668.
<b>ZONING:</b>	Low-Density Residential (LDR-7.5)
<b>APPROVAL CRITERIA:</b>	The City reviewed the application for compliance with the La Center Municipal Code (LCMC) Chapter 8.60, Sign Regulations.
<b>Submittal Date:</b>	November 9, 2022
<b>SEPA:</b>	This project is categorically exempt per WAC 197-11-800(2)(c).
<b>DECISION:</b>	Approval subject to conditions.
<b>DECISION DATE:</b>	December 13, 2022
<b>CITY REVIEWER:</b>	Ethan Spoo, AICP, Consulting Planner and Tony Cooper, PE, City Engineer

## CONTACT LIST

### OWNER

Hillside Development LLC  
11815 NE 113<sup>th</sup> St Suite 110  
Vancouver, WA 98662

### APPLICANT

Gabriel Helmes  
DLC Architecture LLC 11815 NE 113<sup>th</sup> St, Suite 104  
Vancouver, WA 98662  
360-907-4668

### SIGN INSTALLER

Tapani, Inc.  
1904 SE 6<sup>th</sup> Pl  
Battle Ground, WA 98604  
360-687-1148

### LA CENTER STAFF

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Anthony Cooper, PE, City Engineer  
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## Overview and Procedural Background

The applicant is proposing to place one freestanding, monument sign at the future entrance of the Stephens Hillside Farm Subdivision. The sign would be placed on the northeast corner of the intersection between West 19<sup>th</sup> Street and Northfork (Aspen) Avenue. The total sign face area is approximately 24.21 square feet and upheld by stone veneer over Concrete Masonry Units (CMU) walls and pillars to match cultured stone, and a reinforced concrete foundation base. The applicant's plans for the sign are included in Attachment A.

## Approval Criteria

### LCMC 8.60.030

*(4) Approval Criteria. The department shall approve a sign permit where the applicant demonstrates compliance with all of the following approval criteria:*

- (a) The proposed sign is not one prohibited under LCMC 8.60.020(2)(a) through (k), Prohibited Signs; and*
- (b) The proposed sign complies with all applicable dimensional, durational, locational and other requirements of this chapter.*

### Finding(s):

- The applicant is proposing a monument sign, a permitted freestanding sign listed under LCMC 8.60.050. The sign is not a prohibited type under 8.60.020 (a) through (k).
- The sign complies with the applicable dimensional, durational, locational and other requirements of this chapter, as demonstrated in materials submitted by the applicant and documented in this staff report.
- Conclusion: The proposed sign meets the approval criteria for the City to issue a sign permit as further detailed in this staff report.

### LCMC 8.60.050 General Requirements Applicable to All Signs

*(1) General Requirements. The following requirements apply to all signs allowed in the city:*

- (a) Building and Specialty Code Compliance. All signs, whether regulated by this chapter or not, shall meet all applicable construction and operation standards of the International Building Code adopted by the city of La Center. Where these codes conflict with the requirements of this chapter, the more stringent or restrictive shall control.*
- (b) No sign shall be insecurely erected, or constructed so as to constitute a safety hazard, fire hazard or a nuisance.*
- (c) Sign Obstructing View, Passage or Safety. No sign shall:*
  - i. Obstruct free ingress to or egress from any door, window, fire escape, alley, driveway, fire lane, access from the sidewalk to transit stop areas, designated disabled parking spaces, disabled access ramps or building exits;*
  - ii. Be located so as to obstruct or interfere with intersection sight distance for vehicles exiting a driveway or street in accordance with the line of sight triangle requirements in the La Center engineering standards;*
  - iii. Obstruct or interfere in any way with the public's ability to clearly view government signs;*
  - iv. By reason of their size, location, movement, content, coloring, or manner of illumination be subject to being confused with a government sign; or*
  - v. Interfere in any way with traffic, visibility or passage within the public right-of-way, including vehicle travel lanes, sidewalks and bike lanes.*
- (e) Lighting. Signs, excluding temporary signs and canopy signs, may be lit, either from within the sign structure or by external lights shining on the sign face. External light sources shall be aimed*

City of La Center, Washington

*downward and be shielded to direct light solely on the sign face, and in no case shall sign lights shine directly onto an adjacent property, buildings or the public right-of-way or cast glare into the eyes of pedestrians or motorists in the public right-of-way. Flashing, strobe and rotating lights are prohibited in all situations. Sign lights shall not substitute for security or safety lighting that may otherwise be required.*

- (f) *Property Owner Consent. No sign shall be erected on property or a structure (e.g., a building or utility pole) owned by someone other than the person responsible for the sign without the express consent of the property's owner. If the city cannot verify owner consent, the sign will be deemed unlawful and subject to removal.*

Finding(s):

- Compliance with the International Building Code is required before sign construction begins. As proposed, the monument sign would be supported using an above-and-below ground support structure. It would be constructed of cultured stone over CMU reinforced walls and pillars, and reinforced concrete footings. The concrete footings will be set at least 8-inches deep in the ground. Therefore, the sign will be securely constructed and will not be a safety or fire hazard. **As a condition of approval**, the applicant shall obtain a building permit prior to sign placement.
  - The proposed sign would be located at the Stephens Hillside Farm subdivision on privately owned property. Ingress and egress to the subject site is available from Northfork (Aspen) Avenue and the sign will not obstruct this access. The sign would not obstruct free ingress or egress from doors, windows, fire escapes, alleys, driveways, fire lanes, from the sidewalk to transit stops or disabled parking or access ramps or building exits.
  - The City Engineer has verified that the sign will not interfere with vision clearance, as depicted on the attached site plan prepared by the applicant.
  - The sign will be exactly 5 feet tall from finished grade and will not obstruct or interfere with the public's ability to clearly view government signs. Government signs in proximity to the site are road signs, which are metal panels mounted on poles of at least six feet in height. Furthermore, the sign would not by reason of its size, location, movement, content, coloring, or manner of illumination be subject to being confused with a government sign or interfere in any way with traffic, visibility or passage with the public right-of-way, including vehicle travel lanes, sidewalks and bike lanes.
  - The applicant stated the sign will be illuminated internally with LED rope lighting.
  - The authorized applicant, Gabriel Helmes, and the property owner, Hillside Development LLC, signed the permit application.
  - Conclusion: As conditioned, the above requirements are met
- (i) *Freestanding Signs. When a freestanding sign is allowed by this chapter, Figures 8.60.050(1) through 8.60.050(5) illustrate the five allowed freestanding sign configurations: monument, single and dual pedestal, and single and dual pylon. The signs shall comply with the dimensional standards specified in these figures and the area and height requirements specified in this chapter.*
- (j) *Freestanding Sign Base Material. The sign base and support structure of freestanding signs must be constructed of or covered with quality materials such as real or faux stone, brick, stucco, textured wood, tile, and textured concrete.*
- (k) *Freestanding Sign Landscaping. All freestanding signs shall have landscaping surrounding the base of the sign equal in area to a minimum of 80 percent of the sign face area. Landscaping shall consist of grass, low shrubbery, and/or ground cover. Whenever possible and appropriate, native vegetation that is drought resistant and requires minimal or low maintenance shall be used for sign-related landscaping. Landscaping shall be well maintained. Sign-related landscaping may be included in any calculation of total landscaping required in a zoning district.*

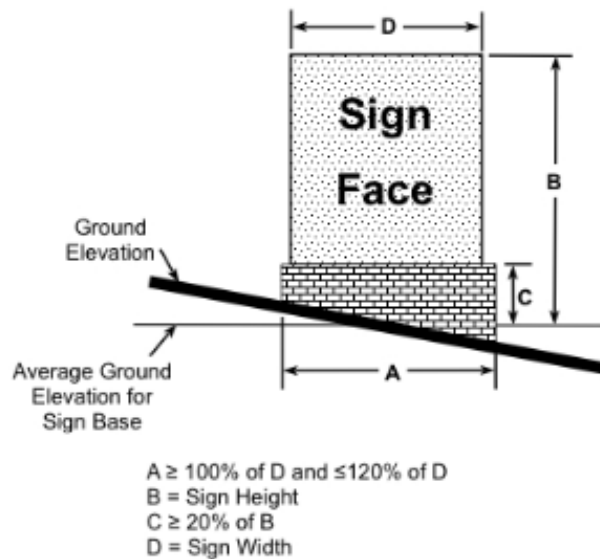


Figure 8.60.050(1) Monument Sign Dimensional Standards

#### Finding(s):

- The sign would be a freestanding, monument sign. The sign's base would be 12 feet wide, which is greater than 100% of the sign's display area width and less than 120% of the sign's display area of 10 feet. The sign's base is also elevated 1.4 feet above grade, which is greater than 20% of the total sign height (5 feet). Therefore, the dimensional requirements for monument signs shown in Figure 8.60.050(1) are met.
- The sign supports would be cultured stone over CMU reinforced walls and pillars with a stone veneer exterior, thus meeting the requirements for freestanding sign base materials. **As a condition of approval**, the applicant shall construct the sign using the approved plans shown in Attachment A.
- The base of the sign is required to be landscaped, which must include grass, low shrubbery, and/or ground cover with native vegetation and drought resistant varieties preferred. Given the face area is 24.21 SF, the landscaping must be at least 19.37 SF and placed at the base of the sign. **As a condition of approval**, the applicant shall submit a landscaping plan with the building permit submittal that demonstrates at least 80 percent of the sign's base will be landscaped using grass, low-shrubbery, and ground cover with native vegetation and drought resistant varieties preferred.
- Conclusion: the sign meets the dimensional, material, and landscaping requirements, subject to conditions.

## Signs in Residential Zones

(1) All signs in the residential zones shall comply with the requirements of this section and the requirements of LCMC [8.60.050](#), General requirements applicable to all signs.

(3) Signs Allowed with a Permit. The following signs are allowed in the city's residential zones so long as a permit is first obtained:

(a) One illuminated freestanding sign may be placed at each street entrance to a subdivision, neighborhood, apartment or condominium complex; provided, that it is not larger than 32 square feet in area and not greater than five feet in height above the average grade at the sign. Such a sign shall not be located in the public right-of-way.

City of La Center, Washington

(4) *Prohibited Signs.* Unless specifically allowed by the preceding subsections, illuminated or signs that are lighted from within or by an external light, excluding addresses or wall plaques less than two square feet, are prohibited in the city's residential zones.

#### Finding(s):

- The proposed sign complies with the general requirements in LCMC 8.60.050 as demonstrated in this staff report.
- The sign is located in the LDR-7.5 zone visible from Northfork (Aspen) Avenue. Residential zones are allowed to have one freestanding sign, and in this case, placed at the entrance of the Stephens Hillside Farm subdivision. The sign face area must be less than 32 SF and the total sign's height must be equal to or less than 5 feet tall to meet the zoning requirements. The sign face area, as defined by LCMC 8.60.150, is approximately 24.21 SF, which is less than 32 SF. The sign is proposed to be approximately 5 feet tall above finished grade. Therefore, this criterion is met.
- The applicant is proposing an internally illuminated sign that is specifically allowed under LCMC 8.60.050 (e).
- Conclusion: The requirements of this section are met.

## CONCLUSIONS & DECISION

The review authority finds the applicant has sustained the burden of proving the application complies with the applicable provisions of La Center's Municipal Code. Therefore, the subject application is hereby APPROVED subject to the following conditions of approval:

1. The applicant shall obtain a building permit prior to sign placement.
2. The applicant shall construct the sign using the approved plans shown in Attachment A.
3. The applicant shall submit a landscaping plan with the building permit submittal that demonstrates at least 80 percent of the sign's base will be landscaped using grass, low-shrubbery, and ground cover with native vegetation and drought resistant varieties preferred.

## APPEALS

Decisions on sign permits are appealable to the City Council per 8.60.030(2)(d).



Bryan Kast, P.E.

Public Works Director



Anthony Cooper, PE

City Engineer

## Attachments

- Attachment A: Sign permit application materials

# Attachment A



# Sign Permit Application



City of La Center, Planning Services  
305 NW Pacific Highway  
La Center, WA 98629  
[www.ci.lacenter.wa.us](http://www.ci.lacenter.wa.us)  
Ph. 360.263.7665 Fax: 360.263.7666  
[www.ci.lacenter.wa.us](http://www.ci.lacenter.wa.us)

Permit Type:  Banner  Monument  Temporary  Commercial  Residential  Other

Legal Property Owner: HILLSIDE DEVELOPMENT LLC Phone: (360) 907-0051

Address: 11815 NE 113th St Ste 110 Vancouver WA 98662 Email: kelly.helmes@newtraditionhomes.cc

Applicant (if different from owner): Gabriel Helmes Phone: (360) 907-4668

Address: 11815 NE 113th St, Suite 104 Vancouver, WA Email: gabe@dlc-architecture.com

Sign Installer: Tapani, Inc. Phone: (360) 687-1148

Date Sign Installed: TBD Date Sign To Be Removed: NA

Sign Location: 258922000 W 19TH ST & NORTHFORK (ASPEN) AVENUE

Sign Dimensions: Height: 5' (2'-9") Width: 12.6'(7.5 SQ. Ft. Total: 22.5 Illuminated Yes

## Additional Documentation As Needed Demonstrating Compliance with LCMC 8.60

- Sign Design (Scaled drawings showing height, width, area, color, illumination and number and location of proposed signs.)
- Site Plan (Documenting existing signs, setbacks and/or facade dimensions.)
- Landscaping Plan (if required)
- Lighting Plan (if required)

Property Owner Signature 

Date 11-4-2022

Applicant Signature Gabriel Helmes Digitally signed by Gabriel Helmes  
Date: 2022.11.04 10:32:32 -07'00'

Date 11/04/2022

## Office Use Only

Permit # \_\_\_\_\_ Fees: \$ \_\_\_\_\_

Received By \_\_\_\_\_ Date Paid: \_\_\_\_\_

Date Received: \_\_\_\_\_ Receipt # \_\_\_\_\_

Date Approved: \_\_\_\_\_ Procedure:  Type I

Zoning Designation: \_\_\_\_\_  Type II

Notes \_\_\_\_\_  Type III



**PROJECT CONTACTS**

OWNER  
 HILLSIDE DEVELOPMENT, LLC  
 11815 NE 113TH ST #110  
 VANCOUVER, WA 98662  
 KELLY HELMES  
 (360) 907-0051  
 KELLY.HELMES@NEWTRADITIONHOMES.COM

ARCHITECT  
 DLC ARCHITECTURE, LLC  
 11815 NE 113TH ST, SUITE 104  
 VANCOUVER, WA 98662  
 (360) 907-4668  
 GABE@DLC-ARCHITECTURE.COM

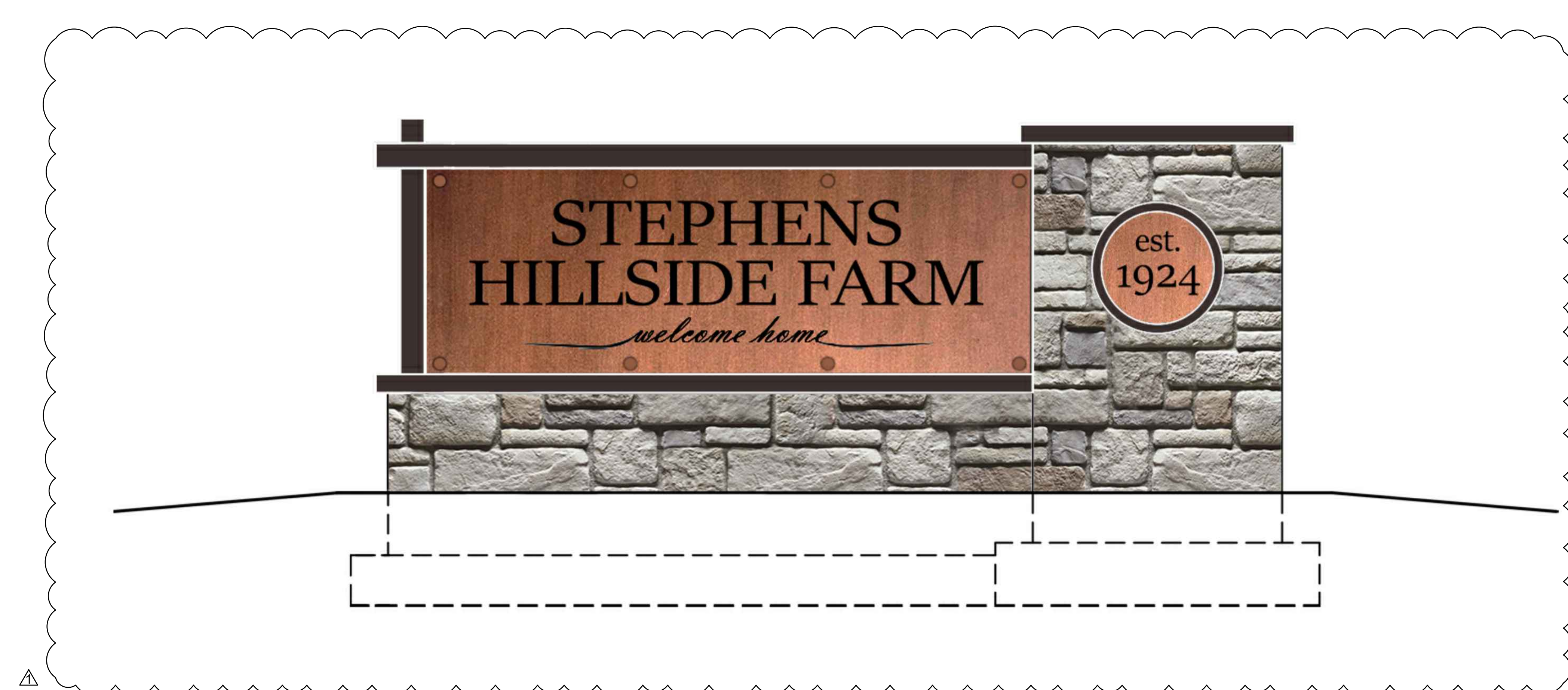
**INDEX OF DRAWINGS**

**LANDSCAPING**

- M1 INDEX OF DRAWINGS, PROJECT CONTACTS, PROJECT GENERAL NOTES, OVERALL SUBDIVISION SITE PLAN, MONUMENT CONCEPTUAL FRONT RENDERING
- M2 MONUMENT PLAN, DETAILS

**PROJECT GENERAL NOTES-**

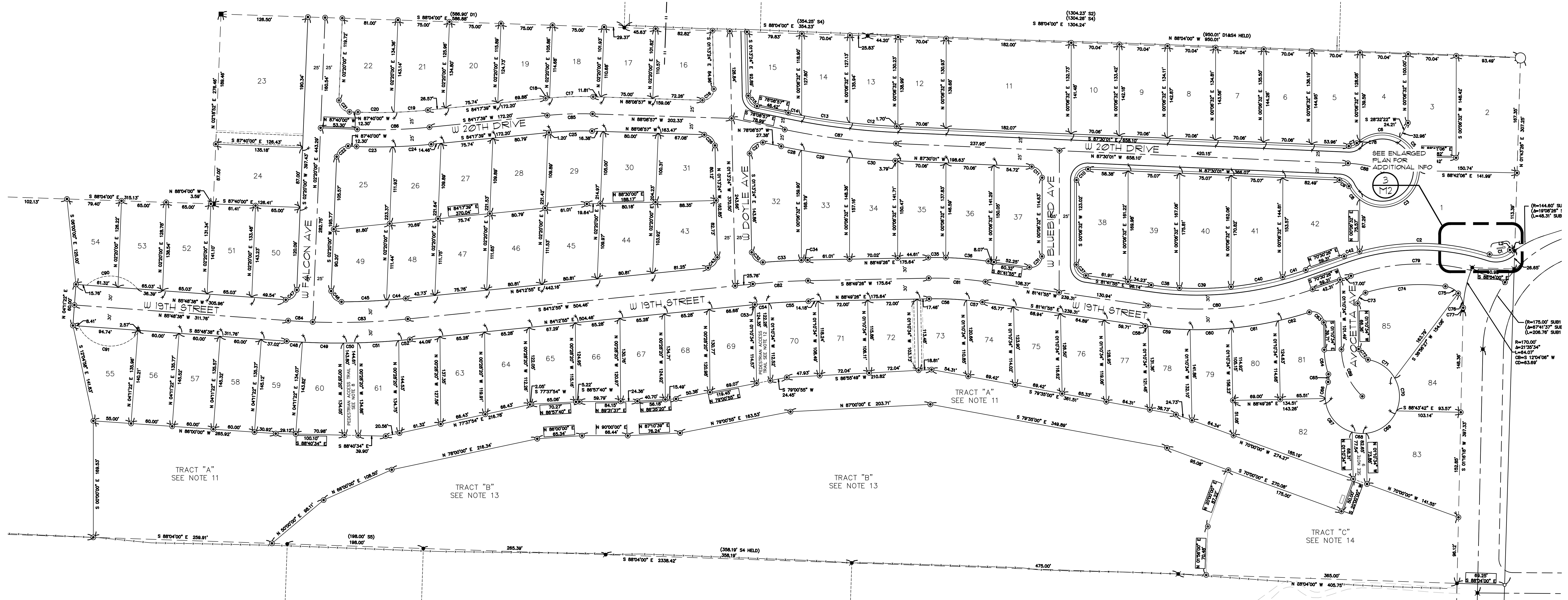
1. ALL WORK TO COMPLY WITH APPLICABLE CODES AND INDUSTRY STANDARDS AND TO MEET OWNER REQUIREMENTS. OBTAIN ALL REQUIRED JURISDICTIONAL PERMITS AND APPROVALS PRIOR TO START OF WORK.
2. ALL PROPERTY LINES, EASEMENTS, UTILITIES AND LEGAL ENCUMBRANCES TO BE REVIEWED WITH OWNER PRIOR TO BEGINNING WORK. BACKGROUND DRAWING OF SITE PROVIDED BY HUA ENGINEERING AND CONSULTING AND SURVEY INFORMATION PROVIDED BY MGS ENGINEERING.
3. CURBS, SIDEWALKS AND PLANTER STRIPS ARE FROM ENGINEERING DRAWING DATA AND NOT FIELD SURVEYED. FIELD VERIFY ALL DIMENSIONS, LOCATIONS AND CONDITIONS AND NOTIFY OWNER OF ANY DISCREPANCIES PRIOR TO START OF WORK.
4. ALL WORK TO BE PERFORMED BY LICENSED CONTRACTORS AND QUALIFIED/ EXPERIENCED CRAFTSMEN/WORKERS.
5. CONTRACTORS AREA TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND CONTACT UTILITY PROVIDERS SERVING THE PROJECT AREA 48 HOURS PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DAMAGE CAUSED BY THEIR WORK AT NO COST TO THE OWNER.
6. THE HOMEOWNER ASSOCIATION IS RESPONSIBLE FOR MAINTAINING OF MONUMENT & PLANTED AREAS WITHIN THE RIGHT OF WAY AND AT AREA DIRECTLY ADJACENT TO SUBDIVISION ENTRIES & OPEN SPACE TRACTS.
7. SEE SEPARATE LANDSCAPE PLANS FOR ADDITIONAL INFO.
8. SEE SEPARATE ELECTRICAL PLANS FOR ADDITIONAL INFO.
9. FINISH GRADE SLOPES TO PROVIDE POSITIVE DRAINAGE. CONTRACTOR TO PROVIDE ALL EXCAVATED PLANTING FITS HAVE POSITIVE DRAINAGE. PLANT FITS FULLY FLOODED WITH WATER SHALL BE DRAINED WITHIN (12) HOURS OF FILLING.



2 COLORED CONCEPTUAL RENDERINGS OF ENTRY MONUMENT FRONT ELEVATION

NOTE - SEE SHEETS M1 & M2 FOR ADDITIONAL INFORMATION

NO SCALE



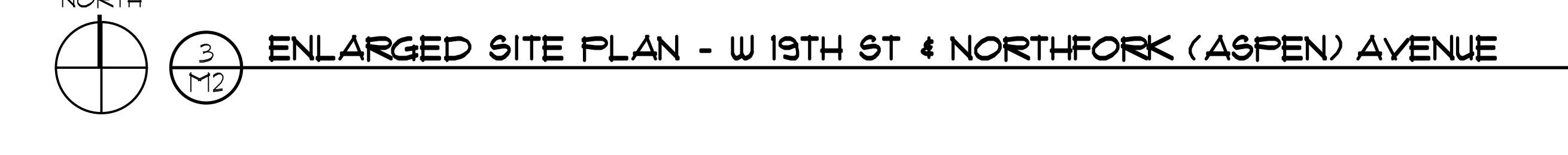
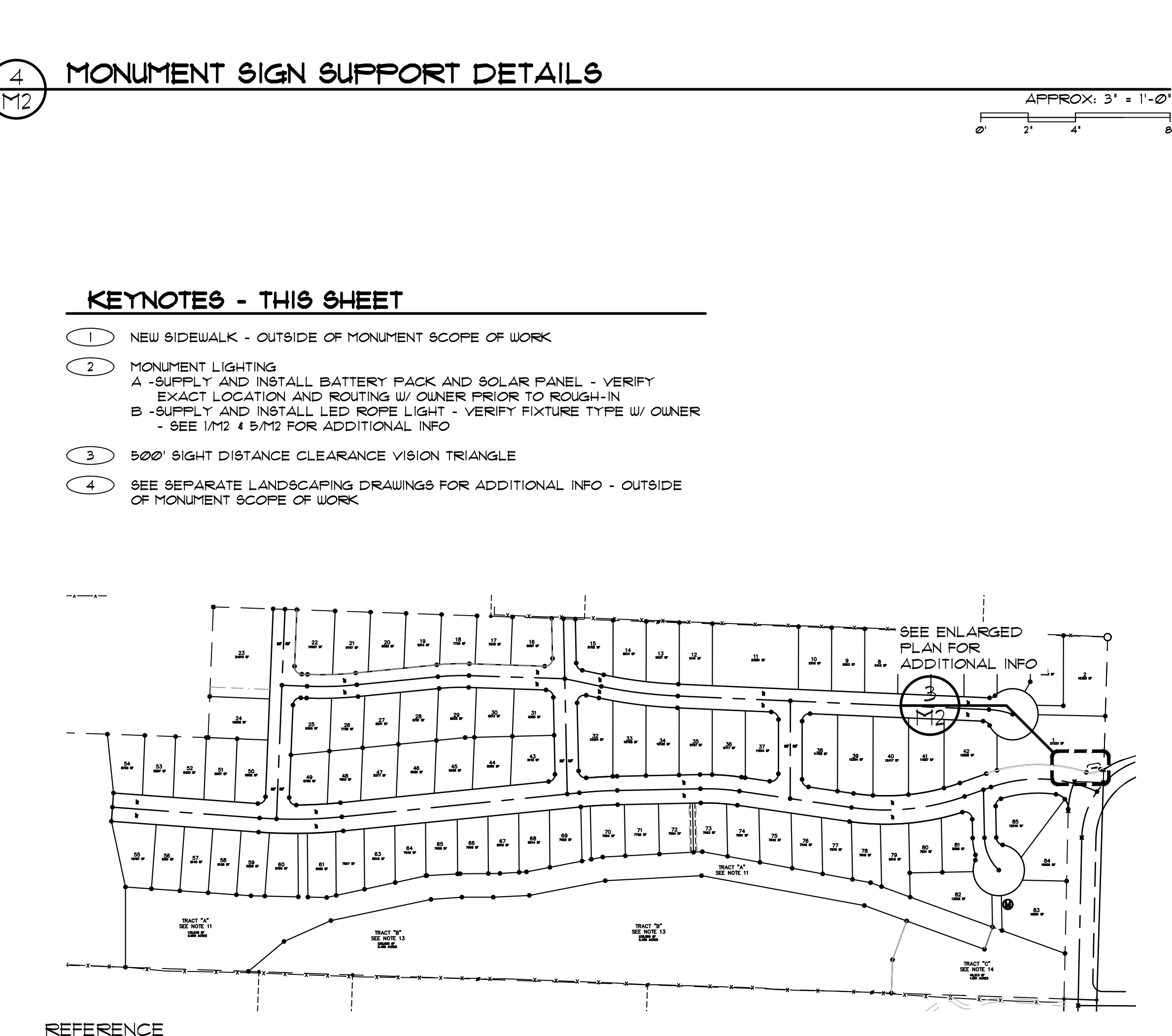
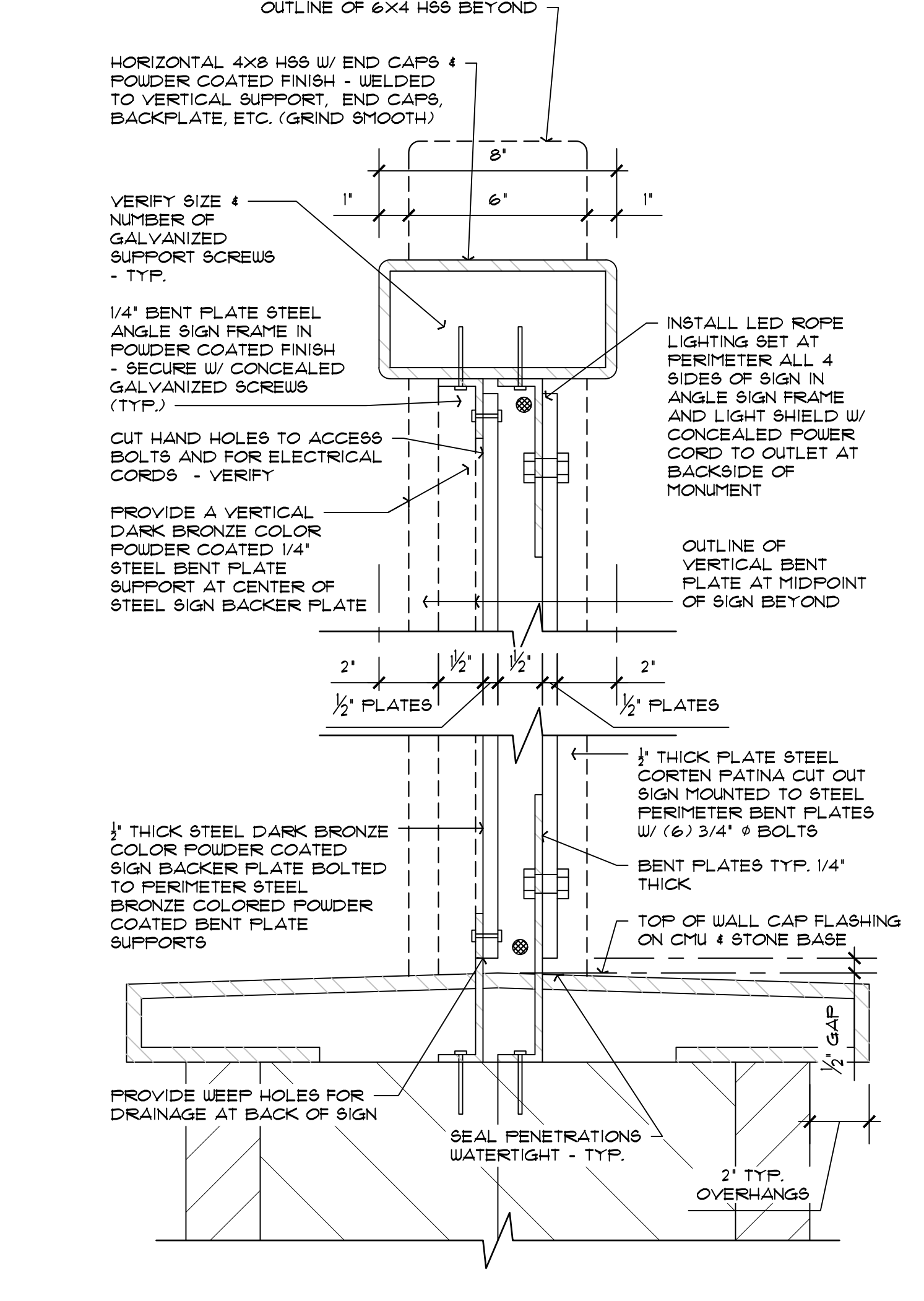
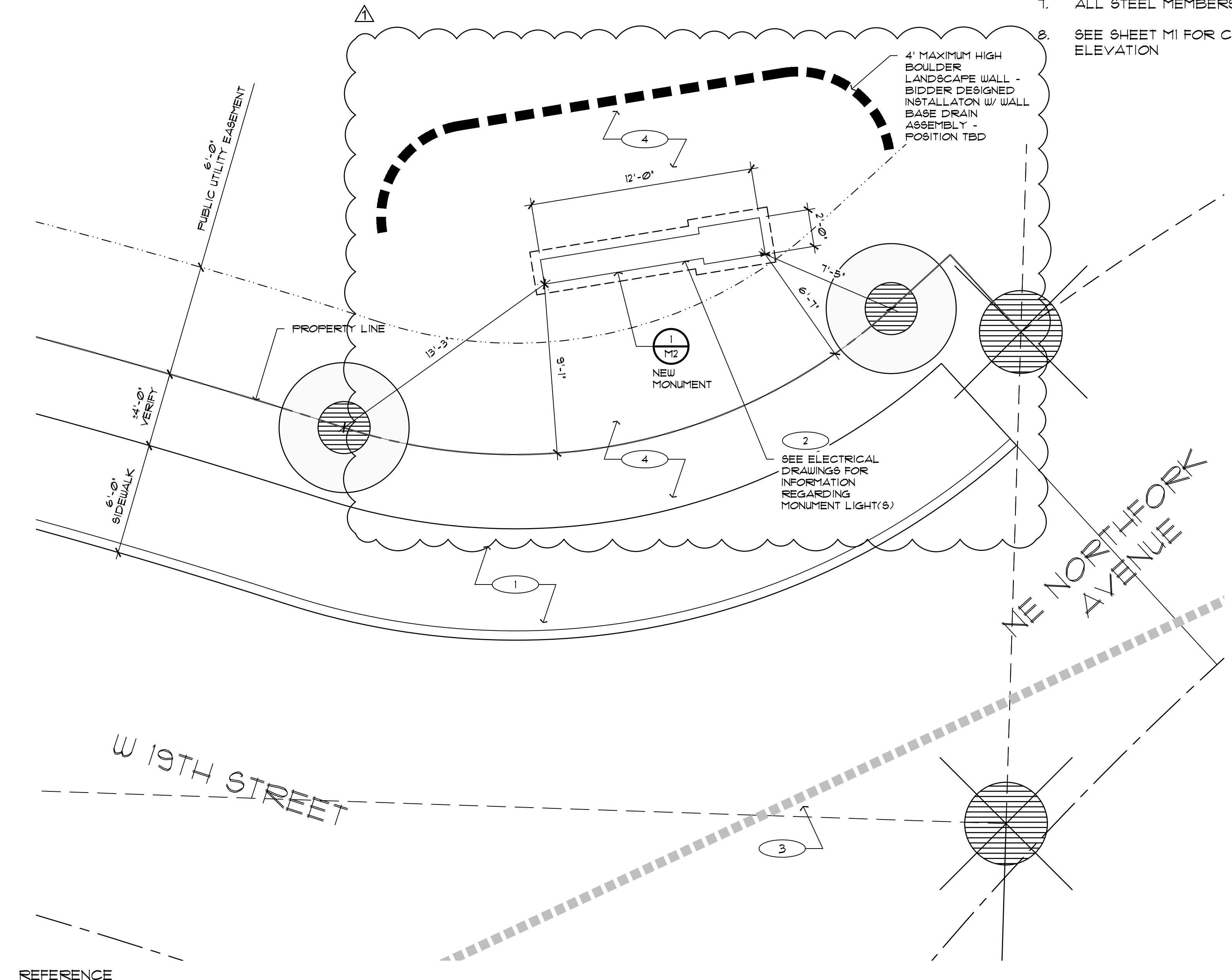
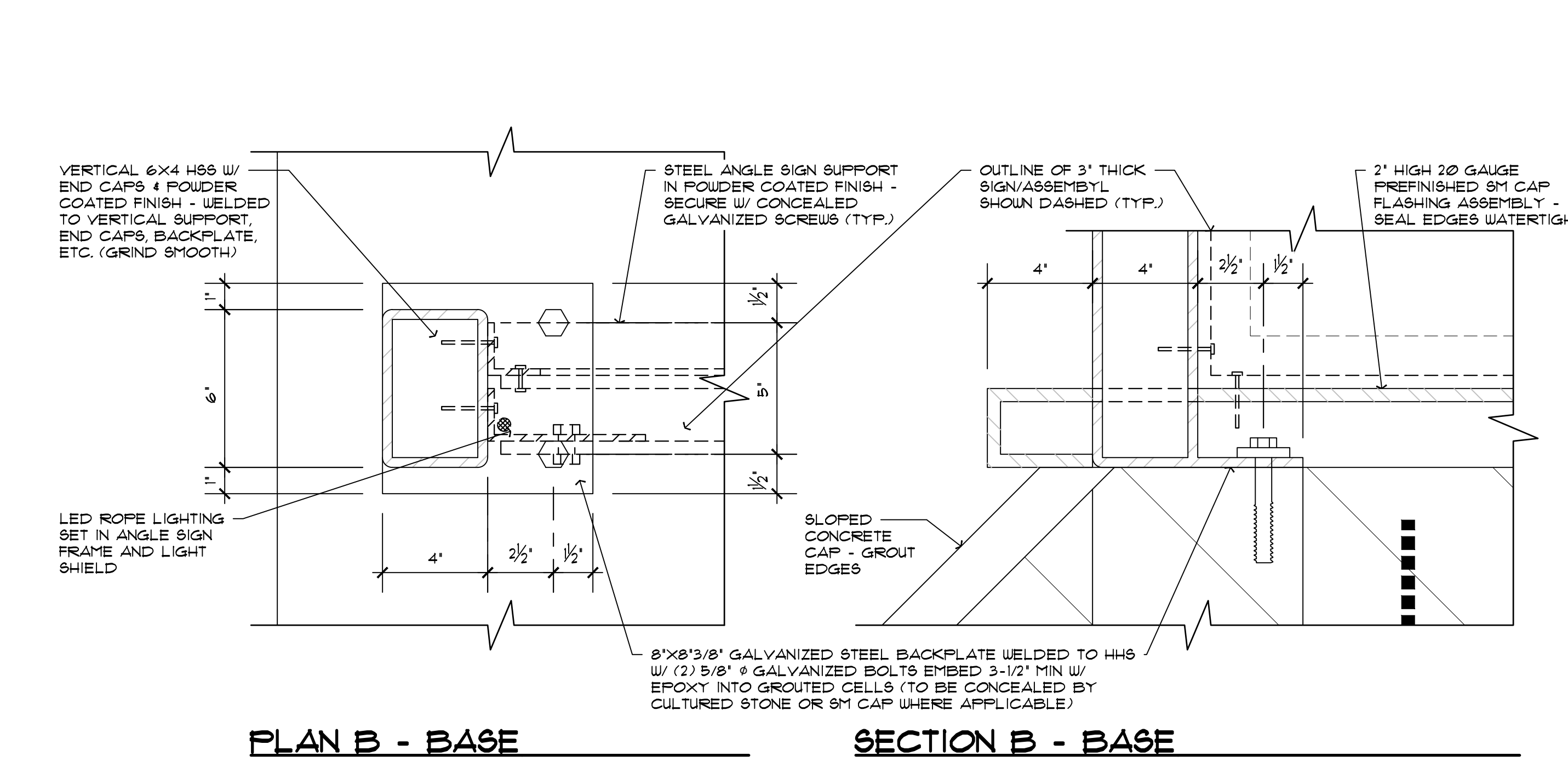
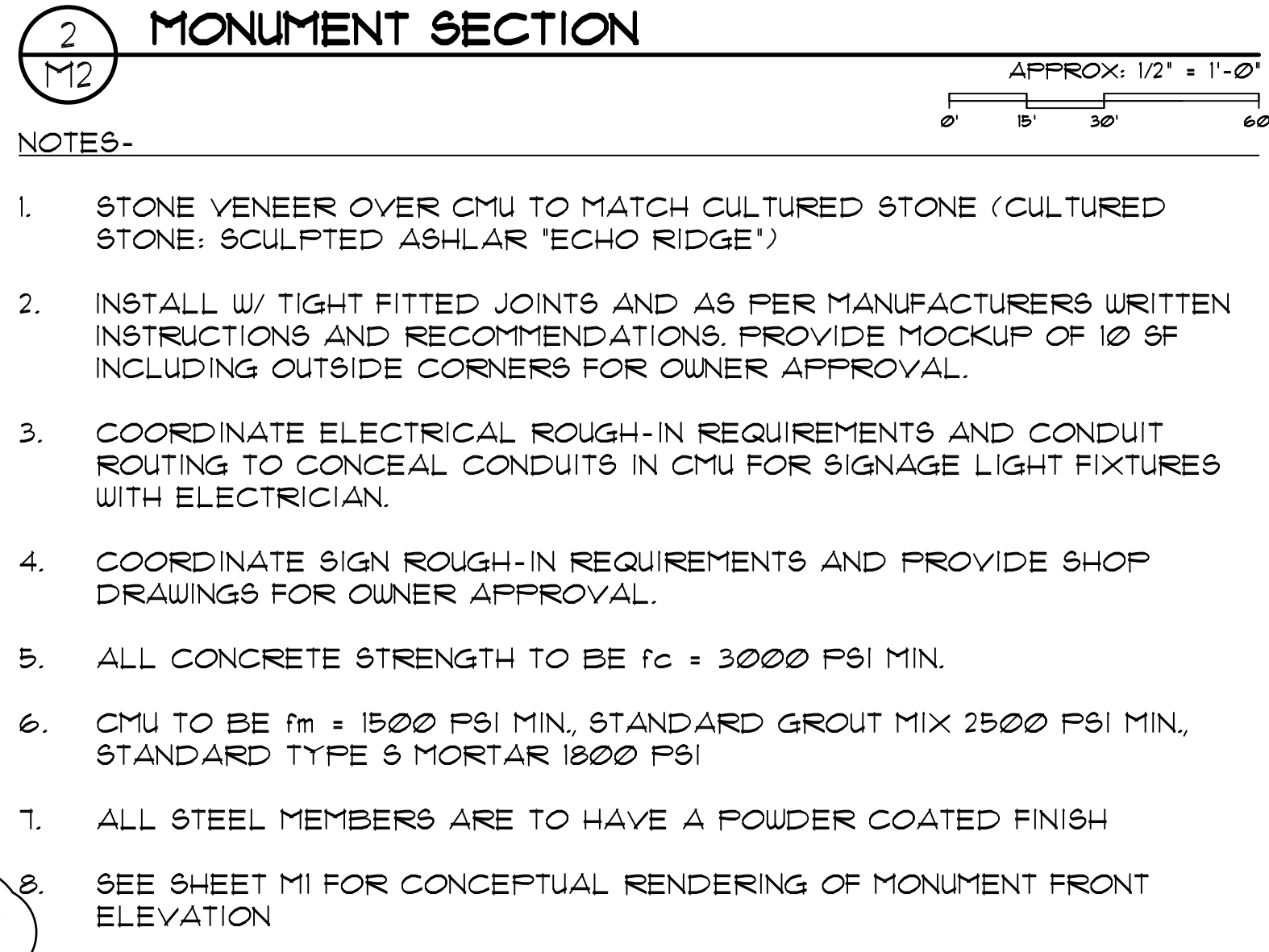
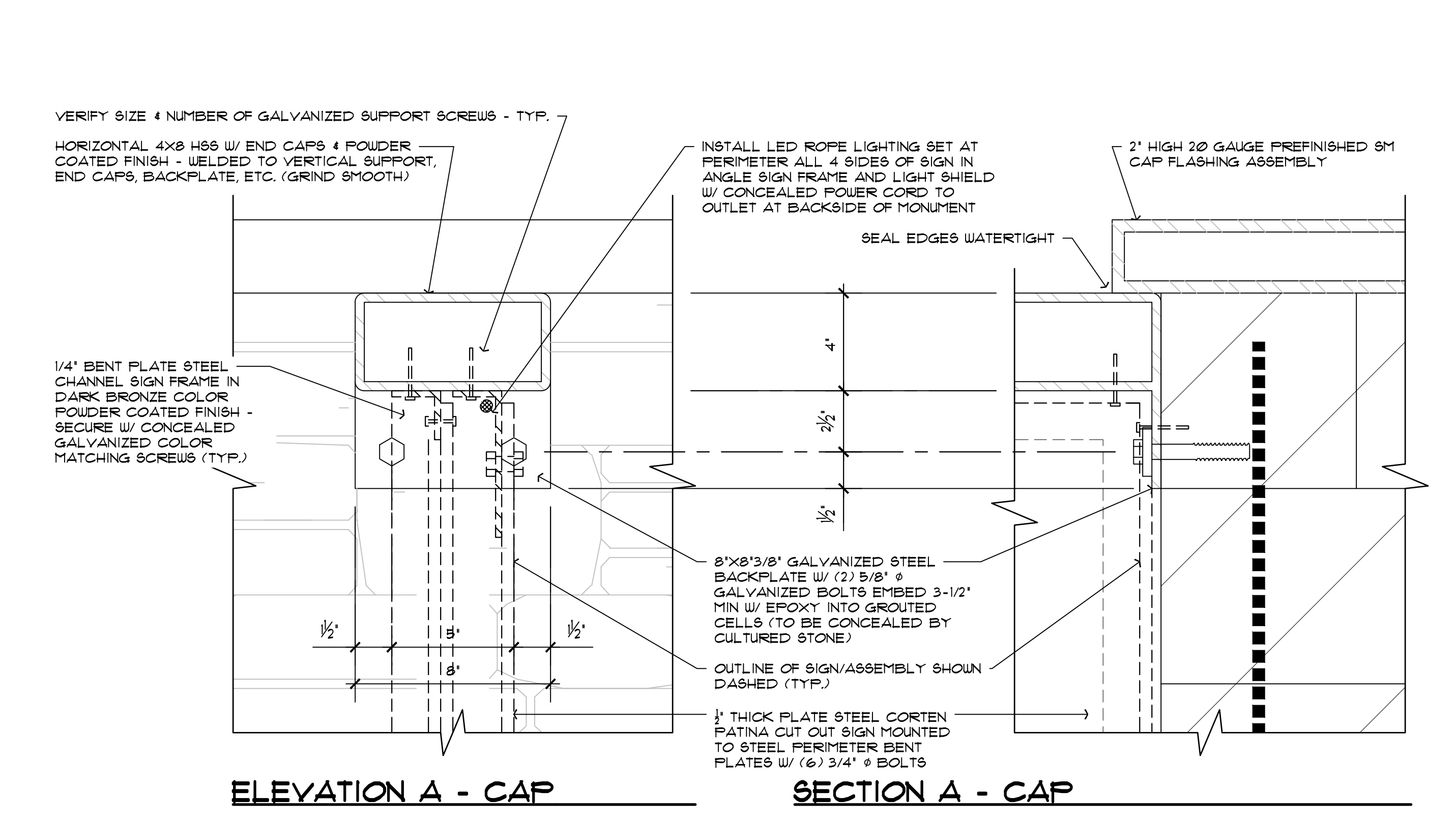
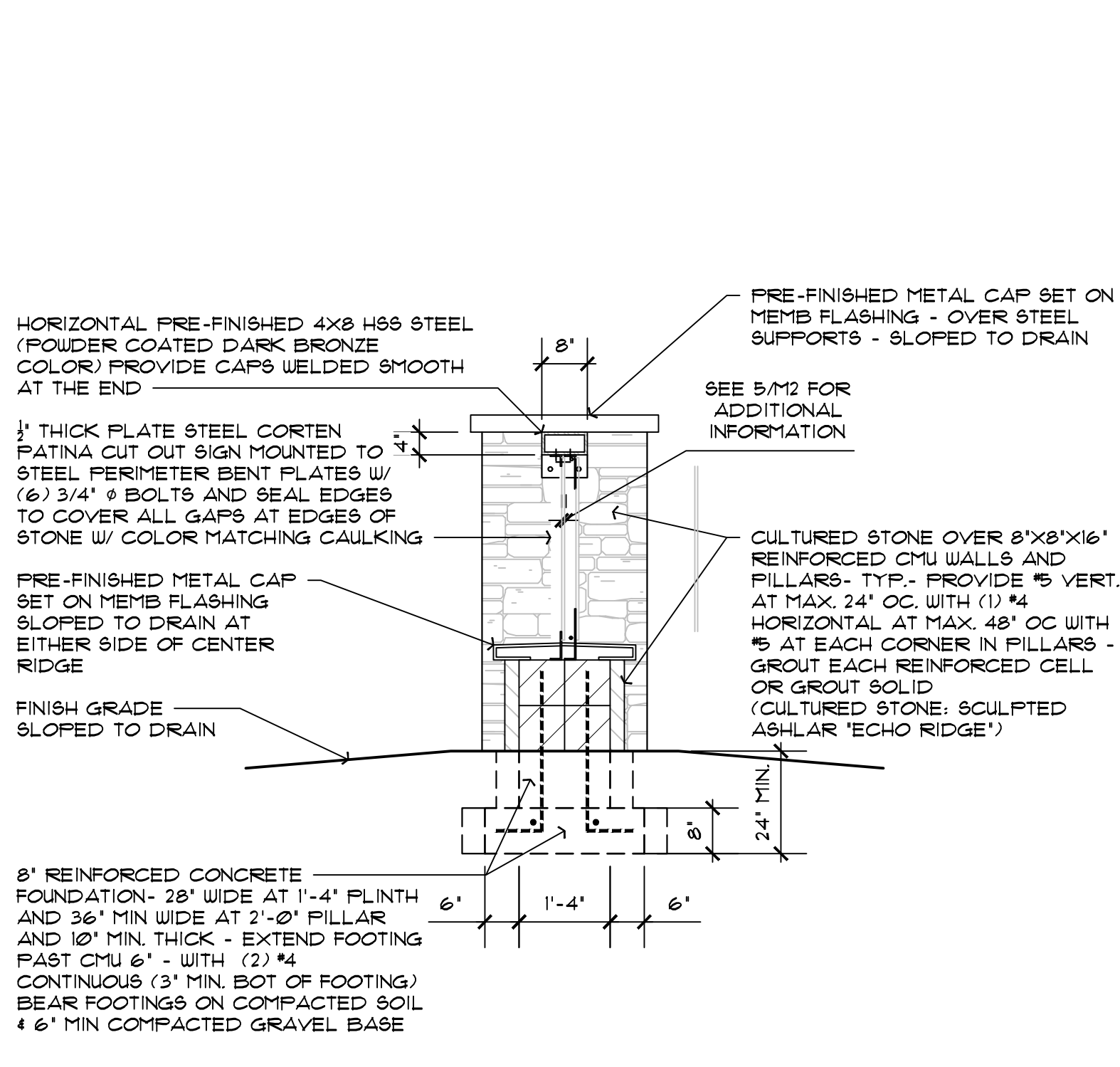
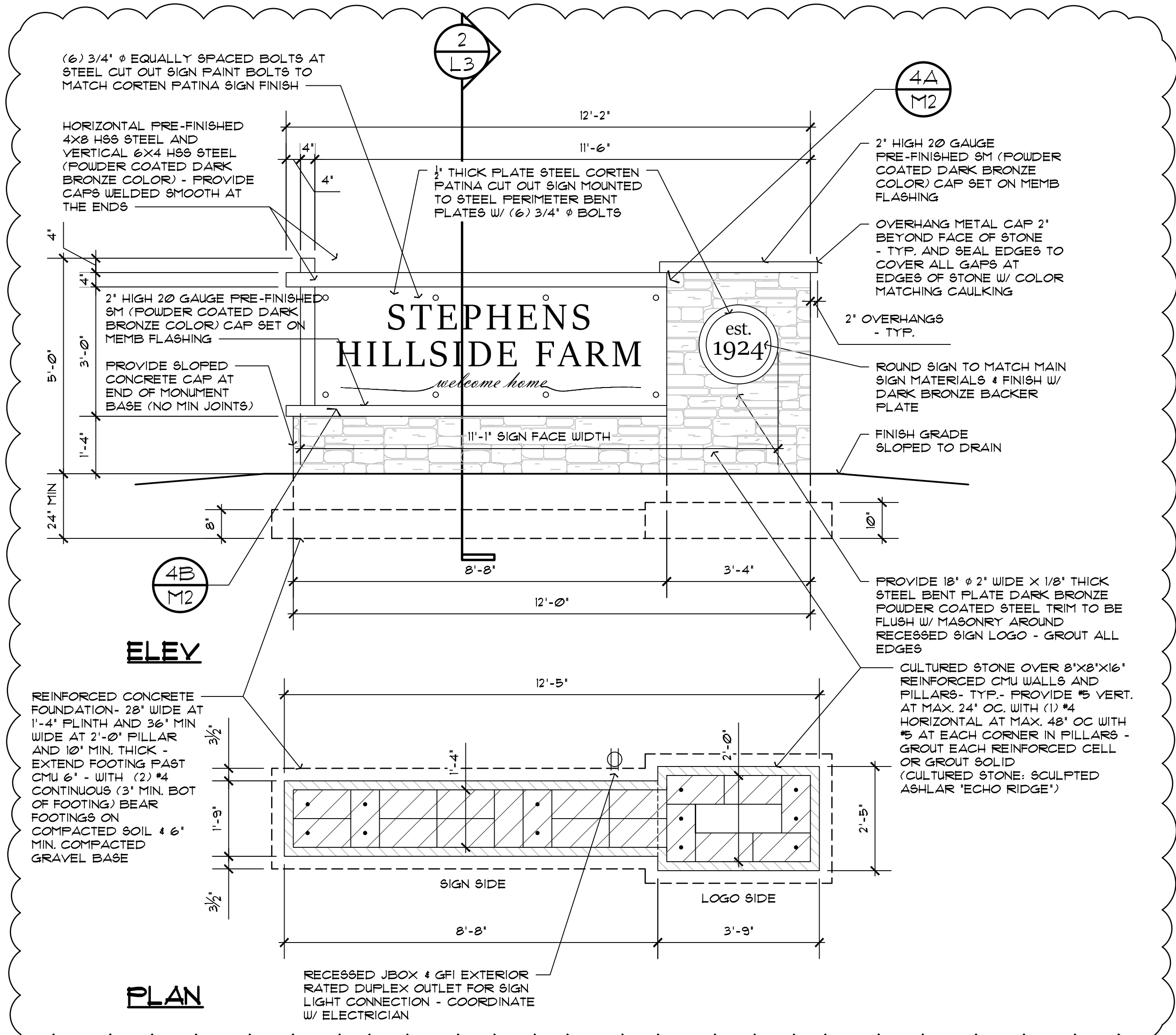
REFERENCE NORTH  
 OVERALL SUBDIVISION SITE PLAN - REFERENCE

APPROX: 1" = 60'

STEPHENS HILLSIDE FARM SUBDIVISION  
 ENTRY MONUMENTS DESIGN  
 W 19TH ST & ASPEN AVENUE  
 LA CENTER WA

22-  
 JOB NO.  
 11-03-2022  
 DATE  
 12/1/2022  
 REVISIONS





STEPHENS HILLSIDE FARM SUBDIVISION  
 ENTRY MONUMENTS DESIGN  
 W 19TH ST & ASPEN AVENUE  
 LA CENTER WA  
 22-  
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 11-03-2022  
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 12/1/2022  
 REVISIONS  
 M2  
 OF2