



La Center, Washington 98629
T/360.263.7665

Final PRE-APPLICATION CONFERENCE
Lockwood Meadows Subdivision Lots 13,14,16,24,26,27,31,34,35, & 64
Attached ADU's
2024-013 PAC

PROJECT INFORMATION

Site Address	2316 Badger Way & 2311 Juniper Circle Bk 312 P 298
Legal Description	Lockwood Meadows Subdivision located in the W ½ of the ¼ of Section 2, Township 4 North, Range 1, East of the Willamette Meridian
Applicant	Tyson Grey Cedar Ridge Homes 503.666.4240 tyson@cedarridgehomes.us 21632 SE Stark St. Gresham, OR 97030
Applicant's Representative	Same as applicant
Property Owner	David Grey 503.666.4240 tyson@cedarridgehomes.us
Proposal	The applicant is requesting to add 893 square foot attached Accessory Dwelling Units (ADU's) to ten (10) lots (13, 14, 16, 24, 26, 27, 31, 34, 35 & 64) located in approved Lockwood Meadows Subdivision. The request includes building the ADU(s) concurrently with the new single-family residential dwellings located on lots that are 7,500 square feet in size or larger. The lots are located in the LDR-7.5 zone district.
Date Issues	July 3, 2024

SUMMARY

The applicant proposes the addition of 893 square foot Accessory Dwelling Unit's (ADU) for ten (10) single-family residential lots located within Lockwood Meadows Subdivision (13, 14, 16, 24, 26, 27, 31, 34, 35 & 64). The total proposed square footage for the homes including the ADU's will be 2872 square feet, the proposed primary dwelling of 1979 square feet and the 893 square foot accessory

dwelling unit.

LCMC 18.247.010 – Purpose: The purpose is to increase the range of housing choices for residents in La Center, to increase the supply of affordable housing options within the community, allow for housing units that are appropriate for people at a variety of life stages, allow for added income, help to meet housing demand and ensure that the ADU units will not cause negative impacts to the character, appearance and functionality of single-family neighborhoods.

LCMC 18.247.020 – Applicability: ADU's shall be allowed outright in all zones where detached single-family dwellings are permitted, ADU's shall not be allowed on properties that do not contain single-family dwellings. *[The proposed ADU's will be newly constructed units in conjunction with a new single-family residential permit].*

The site is zoned LDR-7.5, and allows for low density residential, single-family detached dwelling units. Accessory Dwelling Units are a permitted use within the zoning district.

LCMC 18.247.040 – Establishment - an ADU may be an internal unit within an existing single-dwelling unit of an attic or basement, an addition of new square footage to an existing single-family dwelling creating an attached unit, an addition of new square footage above an attached or detached structure, or a manufactured home in accordance with LCMC 18.180.070. *[The proposed ADU's will be attached to new single-family residential homes]*

LCMC 18.247.050 – Development standards:

- a. A detached ADU shall not be established on any parcel smaller than 5,000 square feet. *[The proposed ADU's will be located on 7,500 square foot lots or larger]*
- b. No more than one ADU shall be associated with each primary single-family dwelling. *[The applicant is proposing one ADU per single-family residence]*
- c. The gross floor area shall not be less than 300 square feet. *[The proposed gross floor area is 893 square feet]*
- d. The gross floor area shall not exceed 900 square feet or 40 percent of the primary single-family structure, not including the garage and/or detached accessory buildings, whichever is less. Internal ADUs may exceed 900 square feet provided they are not larger than the size of the remainder of the single-family dwelling. *[The proposed ADU's do not exceed 900 sf or 40% of the primary single-family residence of Lockwood Meadows Subdivision]*
- e. ADU's shall adhere to the front setbacks of the underlying zone and shall not be closer to the front lot line than the single-family dwelling. *[The drawings provided for the proposed ADU's show the ADU's will adhere to the 20-foot front yard setbacks]*
- f. Consistent with Table 18.130.080, Footnote 3, ADU's require a setback of 10 feet from street side lot lines, five feet from interior side and rear yard lot lines, and six feet from the single-family dwellings. *[All proposed ADU's shall meet the ADU setback requirements]*
- g. Maximum building height, including any mechanical equipment notwithstanding LCMC 18.40.010, for detached ADU's shall not be taller than the primary single-family dwelling or 25 feet, whichever is less. *[The proposed ADU's shall not exceed the height of the primary residence]*
- h. The exterior appearance of an addition or detached ADU shall match the single-family dwelling's siding, color, and roof form and pitch. *[The plans submitted show the proposed ADU's to match the proposed single-family residence. All proposed ADU's shall match the appearance of the single-family residence]*

- i. One off-street parking space is required for ADUs in addition to the parking required for the single-family dwelling. The parking requirement can be met by existing parking on site. If insufficient off-street parking exists on site to meet the single-family requirement plus the one additional space for the ADU, then additional off-street parking shall be provided. *[The proposed single-family homes have a three (3) car garage with a 30' driveway. [The proposed ADU's will meet the on-site parking]*
- j. An ADU may be accessed by the same driveway serving the single-family dwelling. *[The proposed ADU's as shown on the proposed plans meet the driveway standards]*
- k. Additional access may be provided to an ADU if it meets city driveway standards. *[The proposed plans show an access for the ADU's located on the interior side yard of the residence]*
- l. ADUs constructed on sites that are already connected to public sewer and water, or such systems are adjacent to the site in the public street, shall connect to these systems. *[The proposed ADU's are required to connect to public water and sewer]*

LCMC 18.247.060 – Review Process: The city will process the application as a Type II procedure, pursuant to LCMC 18.30.090.

Chapter 18.30.090 Type II procedure

The project will require a Type II Site Plan Review approval for the ADU. Both applications shall be grouped under one review process as permitted under LCMC 18.30.090 and reviewed under the highest order review process.

Details regarding the Type II review process are below:

(1) Notice of Application. Within 14 calendar days after the date an application subject to Type II review is accepted as technically complete, the city clerk shall mail a written notice of the application as provided in LCMC 18.30.120.

(2) Comments. The city clerk shall mail to the applicant a copy of comments timely received in response to the notice together with a statement that the applicant may respond to the comments within 14 calendar days from the date the comments are mailed.

(3) Decision.

(a) Within 56 calendar days after the date an application subject to a Type II process is accepted as technically complete, the review authority shall issue a decision that approves, approves with conditions, or denies the application; provided, an applicant may agree in writing to extend that time and may provide additional information within that time at the request of the city.

(b) The decision shall include a brief summary of the relevant facts and applicable standards for the application and a summary of how the application complies with those standards based on the facts and evidence, including any conditions of approval.

(4) Notice of Decision. Within seven calendar days after issuing a decision, the city clerk shall mail notice of the decision as provided in LCMC 18.30.120.

(5) Appeal and Post-Decision Review. A final decision regarding an application subject to Type II process can be appealed pursuant to LCMC 18.30.130 and can be amended by post-decision

changes pursuant to LCMC 18.30.150. [Ord. 2006-17 § 1, 2006.]

LCMC 18.247.070 – Submission Requirements: Please see the attached Type II ADU submittal checklist.

LCMC 18.247.080 – Fees:

- a. Traffic impact fees shall be assessed at 33 percent of the current rate for single-family detached residences; \$2495.13
- b. Park impact fees shall be assessed at 25 percent of the current rate for single-family detached residences; \$710.50
- c. Sewer capital facilities charges shall be 50 percent of the current rate for single-family detached residences; \$3900.00
- d. Water system connection charges are established by Clark Public Utilities; and
- e. School impact fees are established by the La Center School District.

The single-family residential lots are located within the recorded subdivision Lockwood Meadows Book 312 Page 298 and were a part of a Type III Subdivision Process, meeting all applicable approval criteria for the subdivision.

This application shall meet all Accessory Dwelling Unit approval criteria according to LCMC 18.247.

Applicable Criteria:

The application will be reviewed for compliance with the La Center Municipal Code (LCMC) 3.35 Impact Fees; Title 13, Public Utilities; Title 18, Development Code; Chapters 18.30.090 Type II Procedure; 18.40.010 Building Height; 18.130 Low Density Residential District; 18.180.070 Manufactured home; 18.247.030 Applicability; 18.247.040 Establishment; 18.247.050 Development Standards; 18.260 Type II Variance 18.320 Stormwater and Erosion Control.

Public Works and Engineering Analysis

Chapter 12.10 -- Public and Private Road Standards

Streets and Circulation

The circulation is existing. There are no comments.

Grading

Chapter 13.10 -- Sewer System Rules and Regulations

The sewer connection will be made through the existing building, which is regulated under the plumbing code.

Sewer Connection Chapter 18.320 (Stormwater and Erosion Control)

The downspouts for the ADA should connect into the home downspouts, which is regulated by the Building and Plumbing code.

Questions

The applicant has requested the construction of ten (10) ADU’s located within Lockwood Meadows Subdivision [The applicant has submitted a map specifically showing proposed lots (13, 14, 16, 24, 26, 27, 31, 34, 35 & 64) as having Accessory Dwelling Units. A separate pre-application conference report will not be needed for the lots mentioned within this report. If the applicant wishes to construct additional accessory dwelling units, a new pre-application conference shall be required for the additional lots requesting ADU’s]

Application Fees

An estimated fee schedule was provided during the meeting. Based upon the information provided to date, we estimate that the land use application fees will include:

- Preliminary ADU Type II Review (\$700 + 85/lot);
- Variances (Type II - \$180)
- See LCMC 18.247.080 for Utility and Impact Fees

The City requires an applicant pay actual costs of outside professional services including engineering, legal, and planning. Impact fees shall be assessed against each lot at time of building permit. (La Center Resolution No. 13-372). A copy of the agreement was provided at pre-application conference. Please include a signed agreement with the application.

April 17, 2024, Pre-application Conference Attendees

Name	Organization Name	Email Address	Phone Number
Angie Merrill	City of LaCenter	amerrill@ci.lacenter.wa.us	360.263.3654
Anthony Cooper	City of LaCenter	acooper@ci.lacenter.wa.us	360.263.2886
Tracy Coleman	City of LaCenter	tcoleman@ci.lacenter.wa.us	360.263.5189
Mike Lackey	Clark Cowlitz Fire Rescue	Mike.lackey@clark.fr.org	360.887.6234
Tyson Grey	Cedar Ridge Homes	tyson@cedaridgehomes.us	503.666.4240

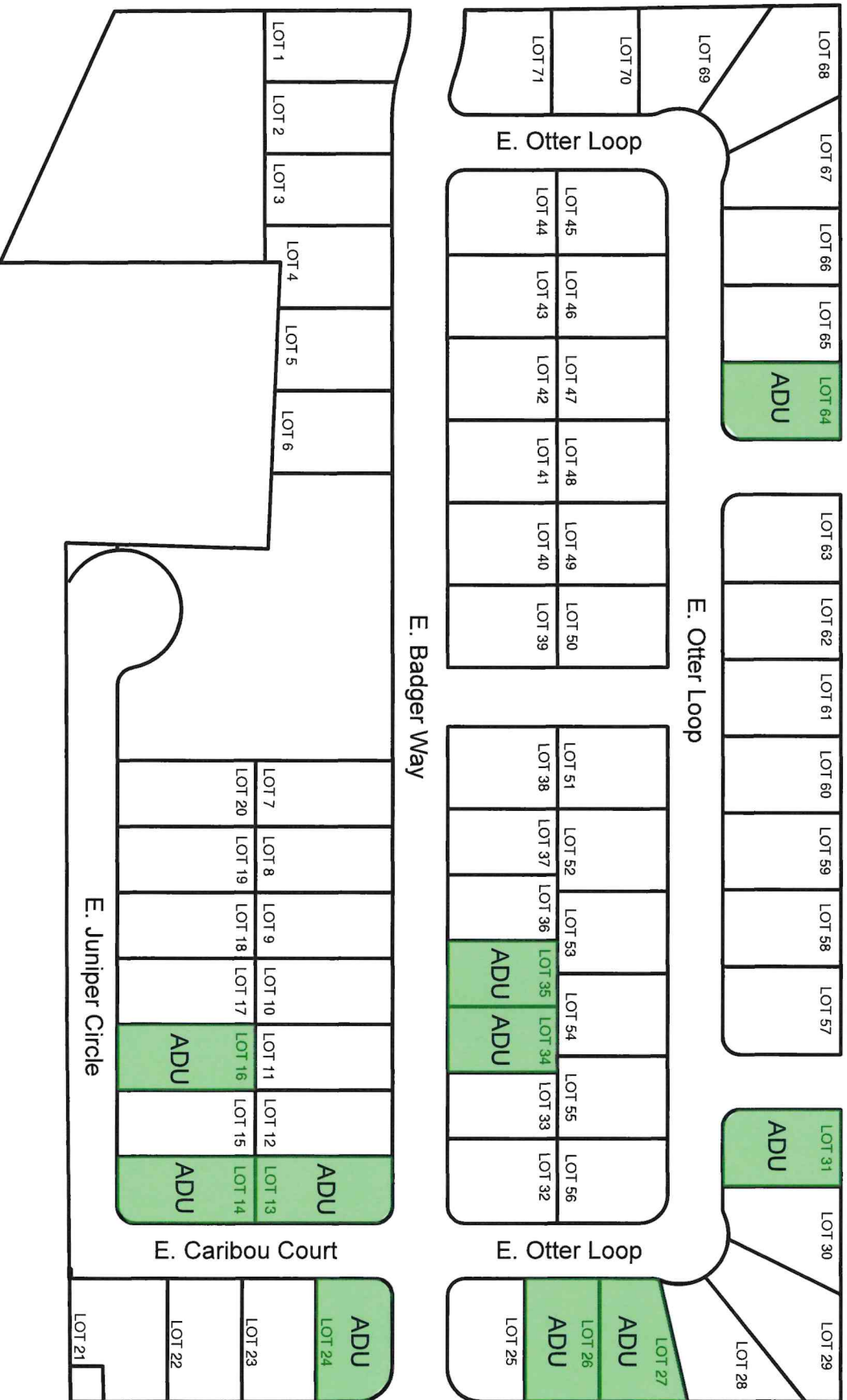
Attachments

- A: Copy of Recorded Plat
- B: Plan Showing Proposed ADU Lots
- C: Building Plans
- D: ADU Application Submittal Checklist

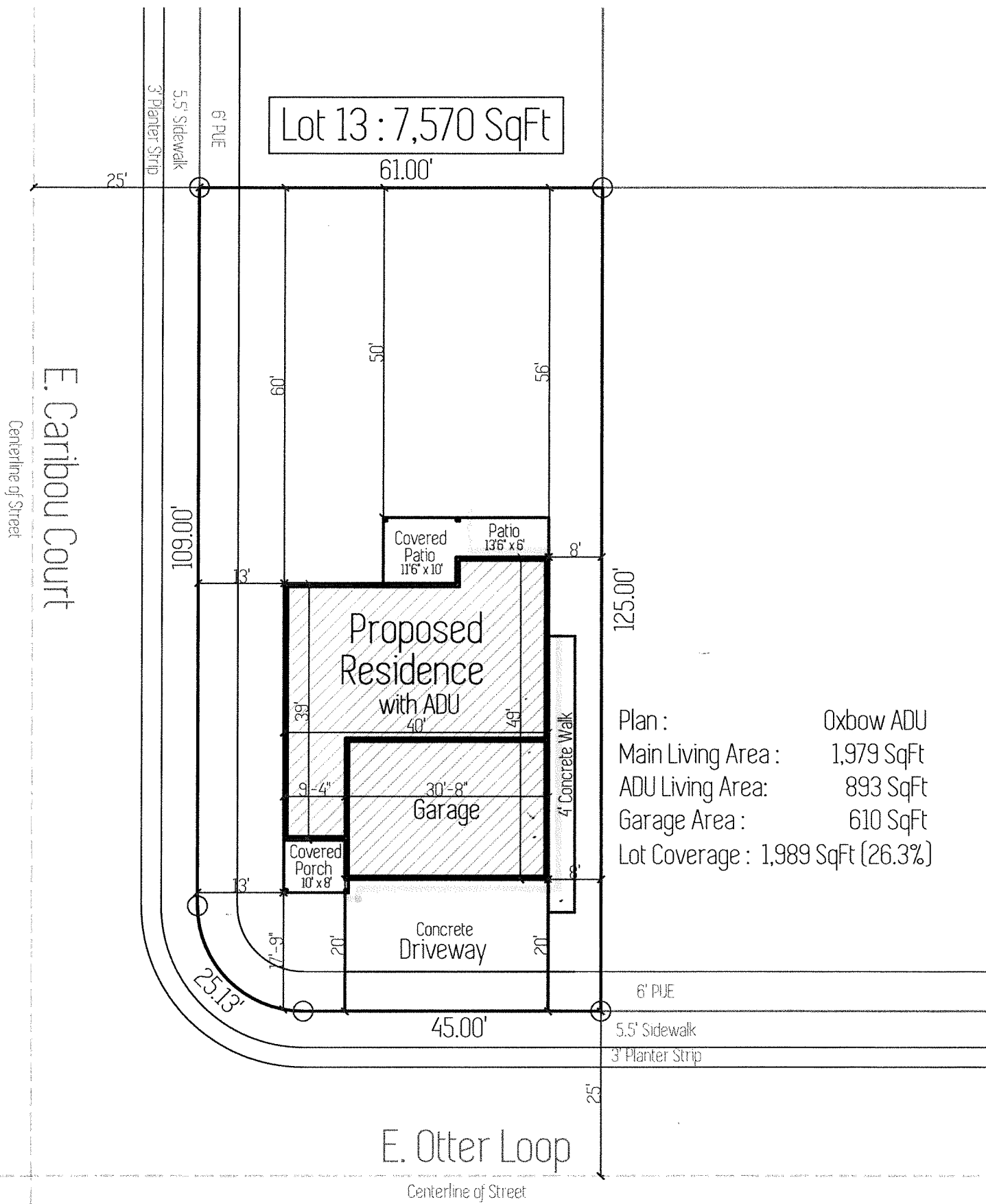
Attachment A

Attachment B

LOCKWOOD MEADOWS



Attachment C

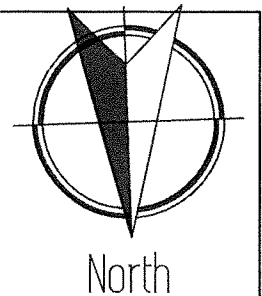


Site Plan

Apr. 29th 2024

2316 E. Badger Way La Center, WA
Lockwood Meadows Lot 13

Scale: 1"=20'

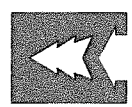


Plan Name	Oxbow B ADU
Date	5/2/2024
Location	Lockwood Meadows Lot 13 La Center, WA

Primary: 1,979 Sqft / ADU: 893 Sqft / Grand Total: 2,872 Sqft
 Scale: 1/4" = 1'

Elevations

The plan is property of:

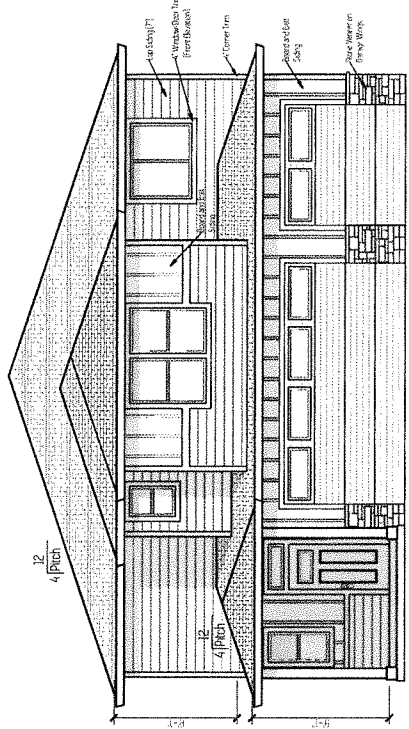


**CEDARRIDGE
HOMES**

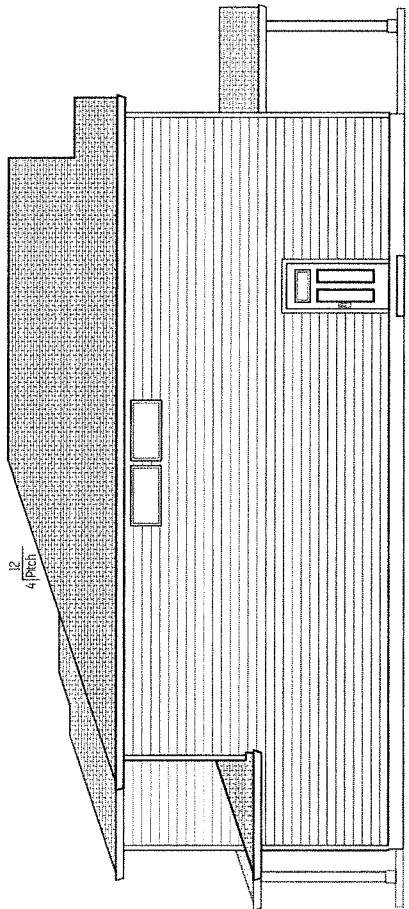
© 2024 Cedar Ridge Homes
 (P) 503-666-4240
 (F) 503-666-2408
 www.cedarridgehomes.us

Designed by:
TYSON GREY
 tyson@cedarridgehomes.us

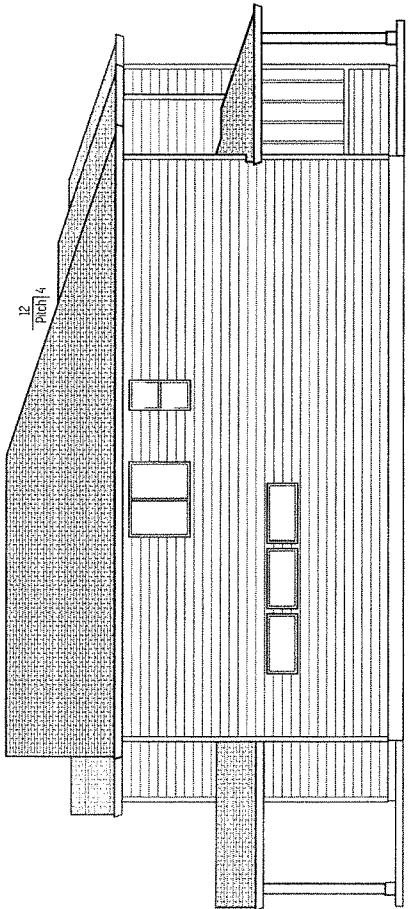
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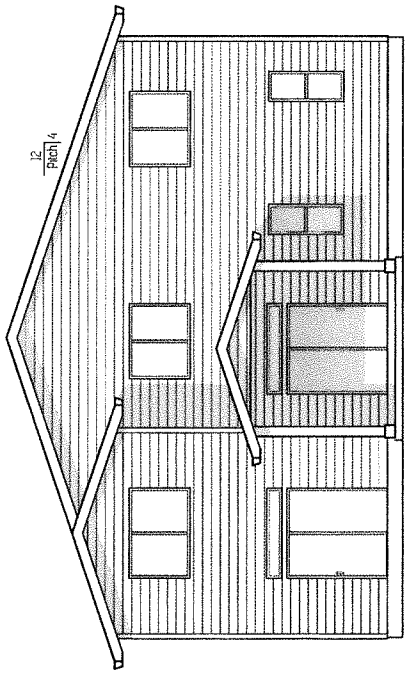
Front Elevation



Right Elevation

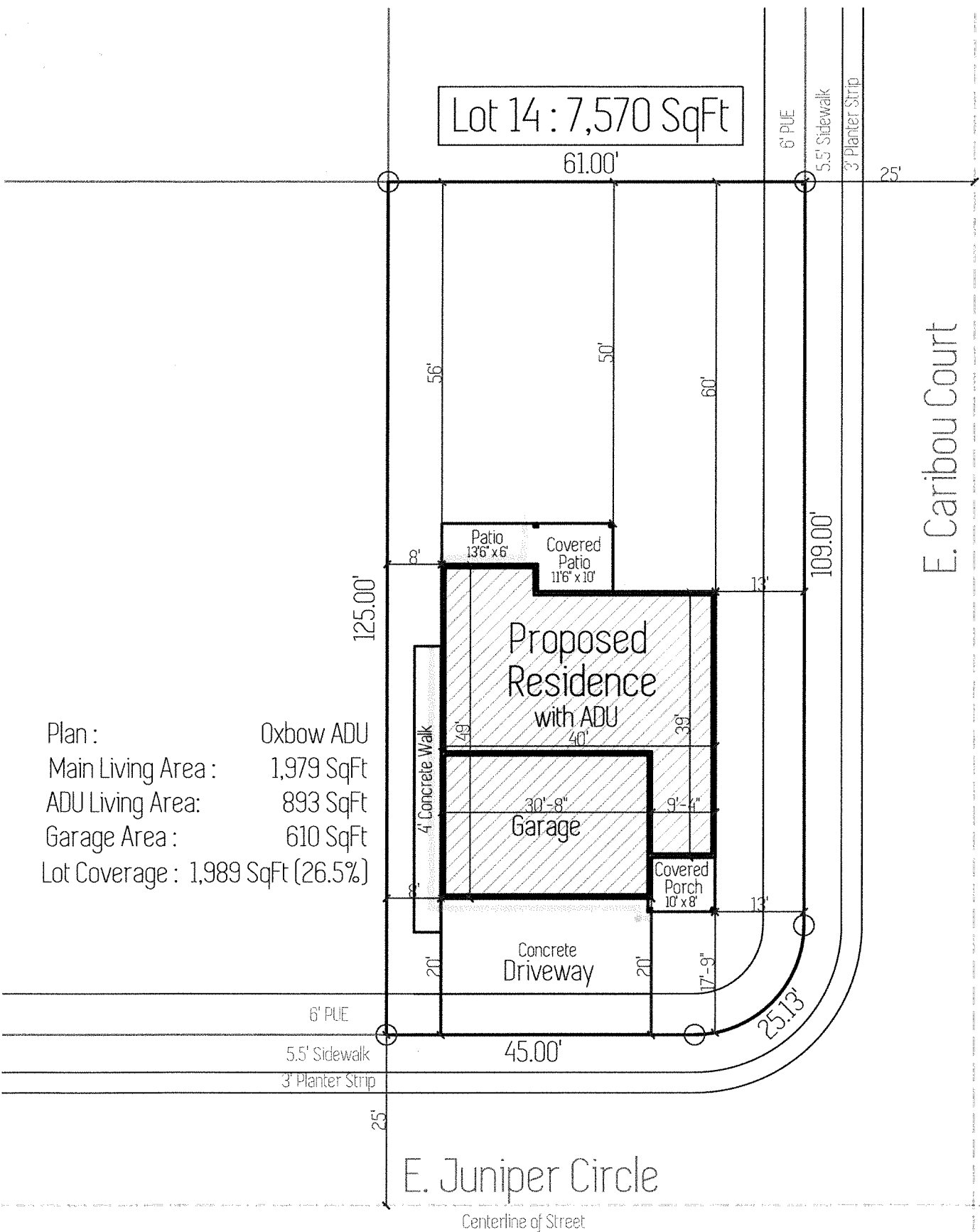


Left Elevation



Back Elevation

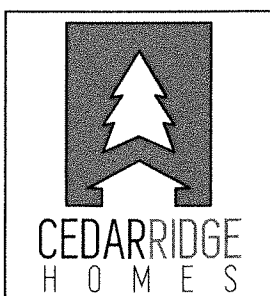
Lot 14: 7,570 SqFt



Plan : Oxbow ADU
 Main Living Area : 1,979 SqFt
 ADU Living Area : 893 SqFt
 Garage Area : 610 SqFt
 Lot Coverage : 1,989 SqFt (26.5%)

E. Caribou Court
 Centerline of Street

E. Juniper Circle
 Centerline of Street

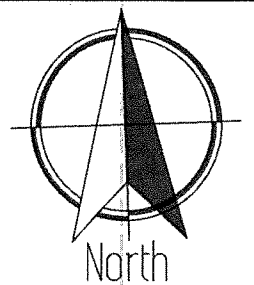


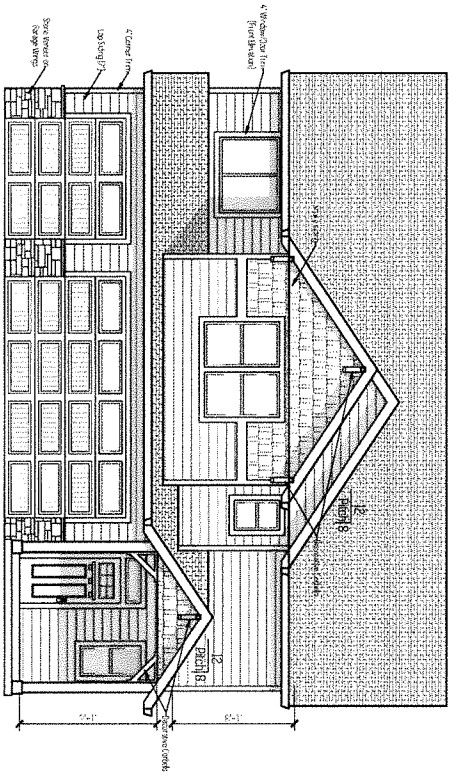
Site Plan

2311 E. Juniper Circle, La Center, WA
 Lockwood Meadows Lot 14

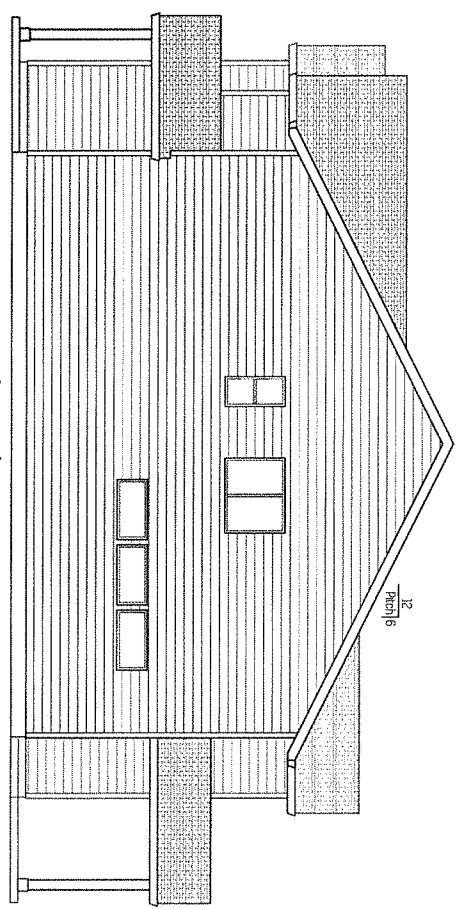
Apr. 30th 2024

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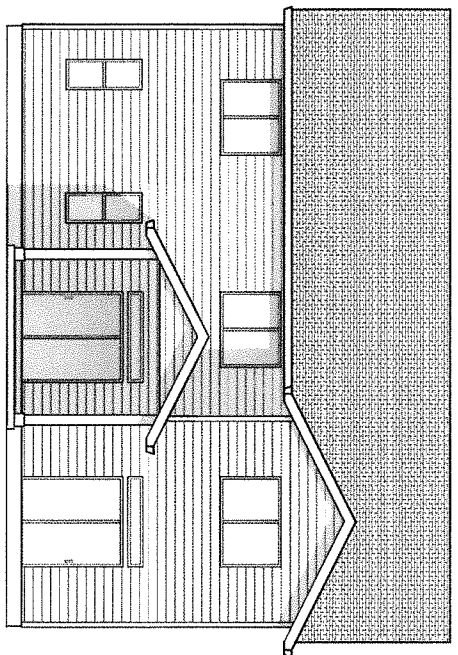




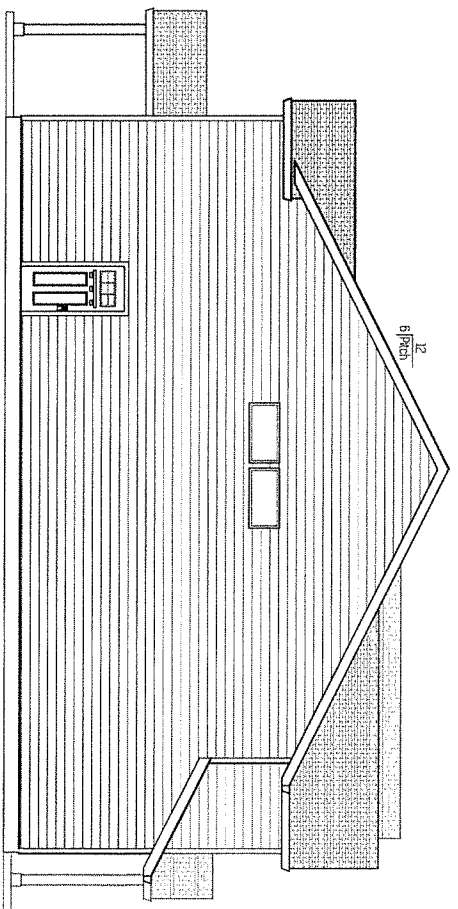
Front Elevation



Right Elevation

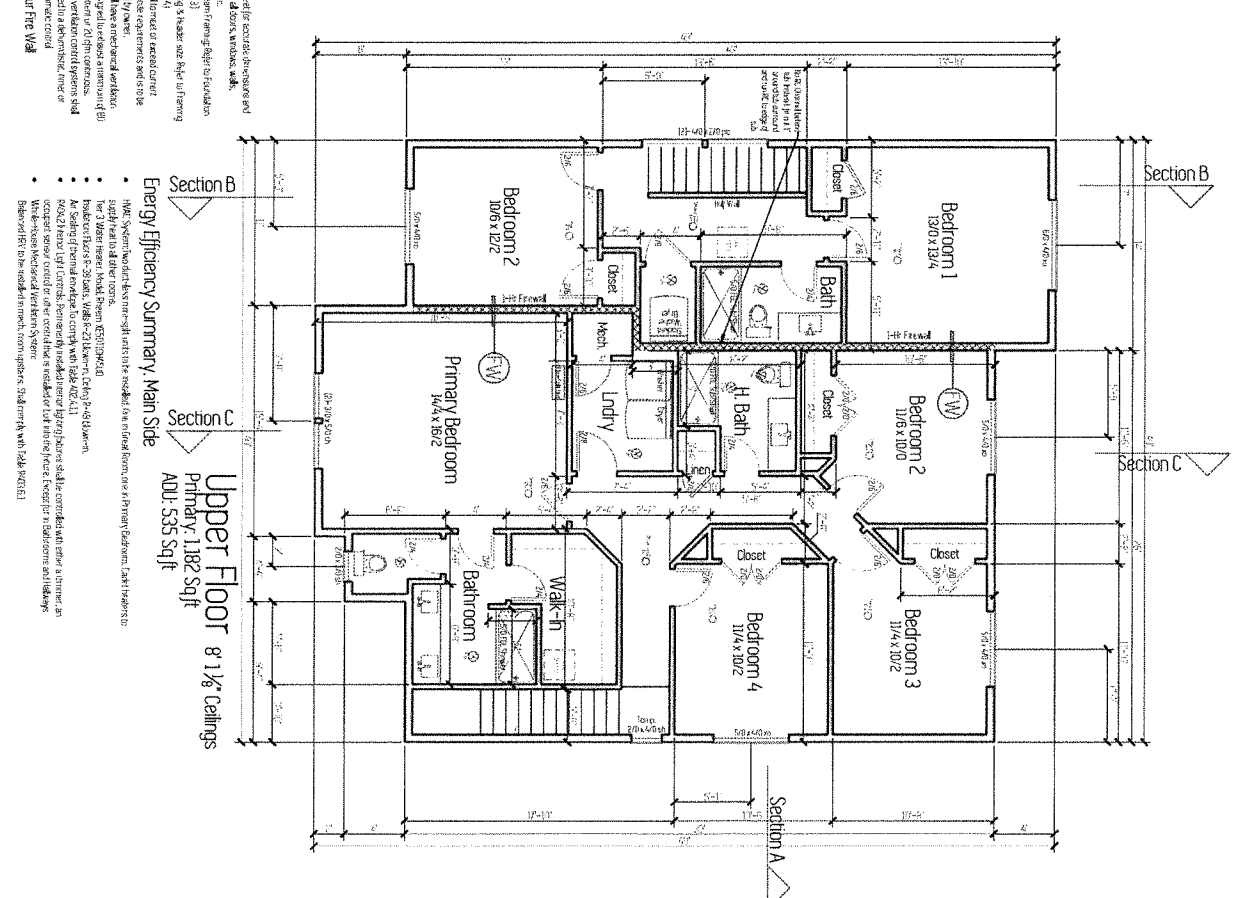
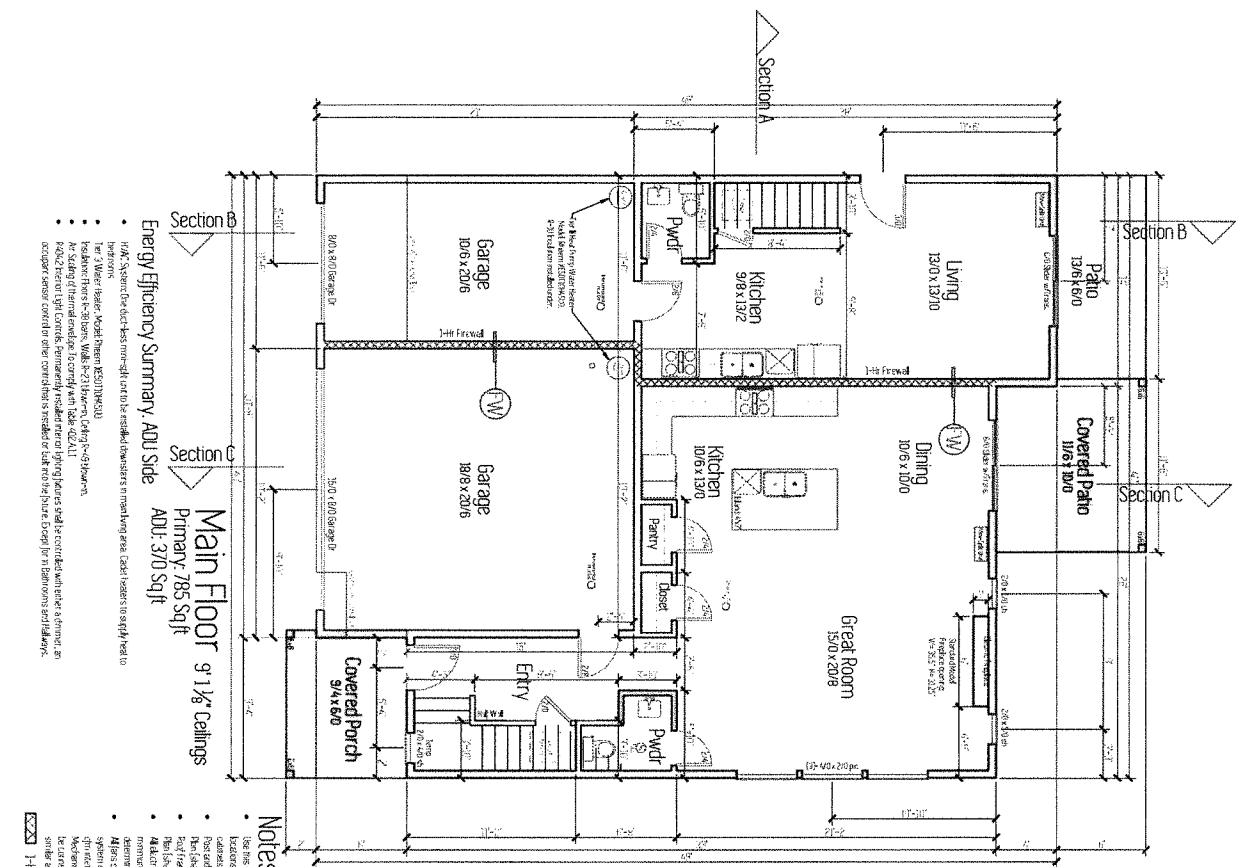


Back Elevation



Left Elevation

Plan Name Oxlow ADU	Date 5/6/2024	Location Lockwood Meadows Lot 14 La Center, WA
<p>Elevations</p> <p>Scale : 1/4" = 1'</p> <p>Primary: 1,979 SqFt / ADU: 893 SqFt / Grand Total: 2,872 SqFt</p>		
<p>This plan is property of:</p> <p>CEDARRIDGE HOMES</p> <p>1224 Cedar Ridge Homes (p) 503-666-4240 (f) 503-666-2408 www.cedarridgehomes.com</p> <p>Designed by: TYSON GREY tyson@cedarridgehomes.com</p>		
<p>1</p>		



<p>Plan Name: Oakway ADU Date: 5/6/2024 Location: Lockwood Meadows Lot 14 La Center, WA</p>	<p>Floor Plan Scale: 1/4" = 1' Primary: 1,979 SqFt / ADU: 693 SqFt / Grand Total: 2,872 SqFt</p>	<p>This plan is property of: </p>
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• 2024 Cedar Ridge Homes
 (P) 503-686-4240
 (F) 503-686-2408
 www.cedarridgehomes.com
 Designed by: **TYSON GREY**
 tyson@cedarridgehomes.com

NOTES
 1-Hour Fire Wall

NOTES
 Use the specific codes, dimensions and materials, etc.
 Foundation: 4" rebar on 12" centers, 12" thick, 4" below grade.
 Footings: 12" wide, 12" deep, 4" below grade.
 Slabs: 4" thick, 4" below grade.
 Walls: 8" thick, 8" below grade.
 Ceilings: 5' 11" high, 5' 11" below grade.
 Floors: 4" thick, 4" below grade.
 Stairs: 6" thick, 6" below grade.
 Roofs: 2" thick, 2" below grade.
 Siding: 1/2" thick, 1/2" below grade.
 Windows: 2" thick, 2" below grade.
 Doors: 1 1/2" thick, 1 1/2" below grade.
 1-Hour Fire Wall

Energy Efficiency Summary, ADU Side
 • HVAC System: ductless mini-split air to be installed in each bedroom. (Cedar Ridge) to 100% wall to wall
 • Insulation: R-19 in walls, R-30 in ceiling, R-5 in floor
 • Air Sealing: (to comply with Title 517.02.010)
 • Radon: (to comply with Title 517.02.010)
 • Occupancy sensor control or other control is needed for all interior lighting in bedrooms and hallways.



**ACCESSORY DWELLING UNIT -
CHECKLIST**

210 E 4th Street, LaCenter, WA
98629

Tel: 360.263.3654

www.ci.lacenter.wa.us

OFFICE USE ONLY

PERMIT NUMBER

SUBMITTAL CHECKLIST

A. PURPOSE (18.247.010)

The purpose of the ADU chapter is to:

- (1) Increase the range of housing choices for residents in La Center.
- (2) Increase the supply of affordable housing options within the community.
- (3) Allow for the development of housing units that are appropriate for people at a variety of life stages.
- (4) Allow for added income and an increased sense of financial security for homeowners.
- (5) Help meet housing demand while utilizing existing infrastructure at minimal cost and disruption to single-family neighborhoods.
- (6) Ensure that the development of accessory dwelling units do not cause negative impacts to the character, appearance, and functionality of single-family neighborhoods as demonstrated by complying with the accessory dwelling unit code

Applicability (18.247.030)

- (1) ADU's shall be allowed outright in all zones where detached single-family dwellings are permitted if in compliance with all of the development standards contained in
- (2) ADU's shall not be allowed on properties not containing an existing or permitted single-family dwelling.

- (3) Previously permitted ADUs that do not meet one or more of the development standards of LCMC 18.247.050 shall be considered a legal nonconforming use

Established ADU:

1) An ADU may be:

- (a) An internal unit within an existing single-family dwelling, such as the conversion of an attic or basement.
- (b) An addition of new square footage to an existing single-family dwelling, creating an attached unit.
- (c) A new detached structure.
- (d) Conversion of an existing attached or detached structure, such as a garage.
- (e) An addition of new square footage above an attached or detached structure.
- (f) A manufactured home in accordance with LCMC 18.180.070.

Development Standards:

- (1) Lot Size. A detached ADU shall not be established on any parcel smaller than 5,000 square feet.
- (2) Density. No more than one ADU shall be associated with each primary single-family dwelling.
- (3) Size.
 - (a) Minimum Size. The gross floor area shall not be less than 300 square feet.
 - (b) Maximum Size. The gross floor area shall not exceed 900 square feet or 40 percent of the primary single-family structure, not including the garage and/or detached accessory buildings, whichever is less. Internal ADUs may exceed 900 square feet provided they are not larger than the size of the remainder of the single-family dwelling.
- (4) Setbacks and Lot Coverage.
 - (a) ADUs shall adhere to the front setback of the underlying zone and shall not be closer to the front lot line than the single-family dwelling.
 - (b) Consistent with Table 18.130.080, Footnote 3, ADUs require a setback of 10 feet from street side lot lines, five feet from interior side and rear lot lines, and six feet from the single-family dwelling.
 - (c) A detached ADU may be located at the lot line of the rear yard if adjacent to an alley.

(d) For ADUs that are constructed above a garage, the ADU shall be set back a minimum of 18 inches from the garage's front facade.

(e) An ADU building footprint shall not be included in the maximum lot coverage calculation of the underlying zone.

(5) Height.

(a) Maximum building height, including any mechanical equipment notwithstanding LCMC 18.40.010, for detached ADUs shall not be taller than the primary single-family dwelling or 25 feet, whichever is less.

(b) Building height requirements of the underlying zone apply to internal or addition ADUs.

(6) Architectural Design.

(a) The exterior appearance of an addition or detached ADU shall match the single-family dwelling's siding, color, and roof form and pitch.

(b) For ADUs that are established by conversion of an existing garage facing a street, the garage door shall remain to match the aesthetic of the neighborhood, with the primary entrance established on the side of the ADU.

Alternatively, an applicant can remove the garage door, if the alterations match the design of the single-family dwelling; front facing garages are not typical in the neighborhood; and at least one window is provided on the front facing wall.

(7) Parking. One off-street parking space is required for ADUs in addition to the parking required for the single-family dwelling. The parking requirement can be met by existing parking on site. If insufficient off-street parking exists on site to meet the single-family requirement plus the one additional space for the ADU, then additional off-street parking shall be provided.

(8) Access.

(a) An ADU may be accessed by the same driveway serving the single-family dwelling.

(b) An additional access may be provided to an ADU if it meets city driveway standards.

(9) Utilities.

(a) ADUs constructed on sites that are already connected to public sewer and water, or such systems are adjacent to the site in the public street, shall connect to these systems.

(b) ADUs may connect to an existing septic system if a public sewer connection is not available and the homeowner provides verification from Clark County public health that the septic system has adequate capacity to support the unit.

(c) For internal and addition ADUs connecting to the public sewer system, the ADU may share a sewer connection with the single-family dwelling or have a separate connection.

(d) For detached ADUs connecting to the public sewer system, a separate side sewer may be made to the public sewer system or the existing side sewer connection from the single-family dwelling may be extended to the ADU. Shared side sewers shall have a diameter of six inches or greater, consistent with LCMC 13.10.110(2).

(e) An ADU may have a shared or separate water system than the single-family dwelling.

(10) Construction and Safety Standards. The design and construction of the ADU shall conform to all applicable standards in the building, plumbing, electrical, mechanical, fire, health, and any other applicable codes

Review Process (18.247.060)

(1) The city will process ADU applications through a Type II procedure, pursuant to LCMC 18.30.090 and subject to conformance with the development standards contained in LCMC 18.247.050.

(2) Type II procedures are subject to pre-application review, pursuant to LCMC 18.30.020, unless the director waives the requirement in writing on a form provided by the city.

(3) Deviation from the development standards contained in LCMC 18.247.050 requires a Type II variance, subject to Chapter 18.260 LCMC.

(4) The applicant shall apply for a building permit for an ADU. An ADU cannot be occupied until a certificate of occupancy is issued by the building department. Addressing of the ADU shall be assigned by the city.

(5) Type II applications and building permits for ADUs may be applied for concurrently; however, Type II approval is required prior to building permit approval and certificate of occupancy.

(6) An alteration or addition to an existing, legal nonconforming ADU which was previously permitted may be approved for a building permit, subject to Chapter 18.255 LCMC.

B. APPLICATION REQUIREMENTS FOR ALL REVIEWS:

- 1. MASTER APPLICATION FORM:** Provide one (1) copy of the completed Master Land Use Application form with original signature(s) including the Reimbursement Form: The name, mailing address, and telephone number of the owner(s), engineer, surveyor, planner, and/or attorney and the person with whom official contact should be made regarding the application.

- 2. **REIMBURSEMENT AGREEMENT:** Submit a completed Agreement to Pay Professional, Project Review, Inspection and Related Expenses form.
- 3. **CHECKLIST:** Provide one (1) copy of this completed submittal checklist.
- 4. **SUBMITTAL PACKET:** Submit one (1) paper copy of the application packet and one electronic copy (CD or Thumb drive)
- 5. **PLOT PLAN:** For detached and addition ADUs, a site plan drawn to scale showing the location of the primary residence, proposed ADU structure location and size, setbacks, access, and parking. Internal ADUs do not need to provide a site plan.

For all ADUs, a floor plan drawn to scale. Internal ADUs shall show the proposed ADU within the single-family home.

Elevations drawn to scale showing height and design (e.g., exterior building materials, colors, roof form and pitch, and window style and placement) of the proposed addition or detached ADU.
- 6. **DEDICATIONS:** Proposed dedications shall be submitted to the city or other agency, if applicable.
- 7. **LEGAL DESCRIPTION:** Submit a legal description of the site; and
- 8. **NARRATIVE:** A written description of the proposed use or development. The description shall identify any variances, adjustments or exceptions needed for approval of the plan.
- 9. **PRE-APPLICATION CONFERENCE REPORT:** A copy of the pre-application conference summary, if the pre-application review requirement was not waived, which will be provided to the applicant from the city after the pre-application conference is held.
- 10. **HOA APPROVAL:** For all ADUs proposed on a lot located within a homeowner's association (HOA), a letter from the HOA or other documentation shall be provided that verifies that ADUs are not prohibited in the HOA's covenants, conditions, and restrictions (CC&Rs).
- 11. **PUBLIC NOTICE:** Provide the names and addresses of owners of land within a radius of 150 feet of the site for an. Owner names and addresses shall be printed on mailing labels.
- 12. **UTILITY CONNECTIONS:** Information about proposed water and sewer utilities connections. If an ADU is proposed to connect to an existing septic system, a letter shall be provided from Clark County public health verifying that the septic system has adequate capacity to support the unit.

APPLICATION FEES:

Type II Site Plan Review Application \$700.00

Impact Fees:

The following impact fees and capital facilities charges apply to ADUs:

- (1) Traffic impact fees shall be assessed at 33 percent of the current rate for single-family detached residences;
- (2) Park impact fees shall be assessed at 25 percent of the current rate for single-family detached residences;
- (3) Sewer capital facilities charges shall be 50 percent of the current rate for single-family detached residences;
- (4) Water system connection charges are established by Clark Public Utilities; and
- (5) School impact fees are established by the La Center School District

Cost recovery (requires a reimbursement agreement); actual cost of staff, consultants, and/or hearing examiner plus 10%. This fee is applicable as part of a land use action or development review (i.e.: traffic study, preliminary/final plat review)

By affixing my signature hereto, I certify under penalty of perjury that the information furnished herein is true and correct to the best of my knowledge. I have owner(s) permission to submit this application. I agree to hold harmless the City of Ridgefield as to any claim (including costs, expenses and attorney's fees incurred in the investigation of such claim) which may be made by any person, including myself, and filed against the City of LaCenter, but only where such claim arises out of the reliance of the City, including its officers and employees, upon the accuracy of the information provided to the City as a part of this application. I understand and acknowledge that the City of LaCenter may charge me additional costs such as consulting fees, administrative costs and actual costs directly associated with processing this land use application.

Applicant's Signature

Date

Print Applicant's Name