



STAFF REPORT and DECISION

**Type I Site Plan Review
Fortune Casino Building Expansion
2024-010-SPR**

DATE: 7/3/2024

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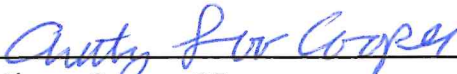
SITE ADDRESS: 318 NW Pacific Hwy, La Center, WA 98629

LEGAL DESCRIPTION: LaCenter S ½ Block 15

PLAN DESIGNATIONS: Residential/Professional (RP) – Downtown Commercial (C-1)

PROPOSAL: One-story addition and remodel of existing Fortune Casino structure

DECISION: Approved; Subject to Conditions



Anthony Cooper, PE
City of La Center Engineer

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I. BACKGROUND INFORMATION

The applicant is proposing a 1,159 square foot single-story addition in the southeast corner of the existing Fortune Casino building. Interior renovations are also proposed within the existing footprint and proposed addition to accommodate a kitchen expansion and reconstruction of the liquor and sushi bars. The property is located at 318 NW Pacific Hwy, La Center, WA 98629, also identified as parcel number 63356000. The property has a Comprehensive Plan Designation of Commercial/Mixed Use and has a zoning designation of Downtown Commercial (C-1) on the eastern half of the property (location of proposed addition) and Residential/Professional (RP) on the western half of the property. Furthermore, the subject property falls within the C-3 Cardroom Overlay District. Access and parking for the building are located along 3rd Street, to the west of the building. No modifications to the existing parking lot or vehicular access are proposed with this application.

The applicant submitted the land use application and associated materials for the proposed addition on March 13, 2024. Upon review, the application was deemed incomplete on March 26, 2024. A meeting with city staff and the applicant occurred on March 27, 2024, to review the incomplete items and identify a path towards completeness. On June 4, 2024, a revised application addressing the identified incomplete items was submitted and subsequently deemed technically complete on June 13, 2024.

II. APPROVAL CRITERIA AND FINDINGS

LCMC 12.10 Public and Private Road Standards

City of La Center Engineering Standards for Construction shall apply to all public road improvements unless modified by the director. LCMC 12.10.040.

LCMC 12.10.190 Developments – Access Road – Frontage Improvements

General roadway and right-of-way standards shall apply and the applicant shall provide half street improvements per the local street standard on W. 3rd Street improvements per Standard per LCMC 12.10.090.

Findings: Half Street improvements already exist for 3rd Street. There is an existing driveway on 3rd Street that will need to be removed to accommodate the proposed addition and vegetation added along the existing frontage to match the existing trees.

Condition: *Sawcut and remove the existing driveway and place new curb ramp to meet ADA standard, per City of La Center Standard Details and the site plan. Standard Plan ST-8 and ST-7A shall be used to construct the new ramp. Curb and gutter and sidewalk and sidewalk shall be installed to match the new ramp per detail sheets ST-5 (curb and gutter), and sidewalk detail ST-23.*

LCMC 12.10.350 Street Trees and Landscaping

Findings: Street trees will be planted per the site plan to match the existing trees.

Condition: *Street trees shall be planted along W. 3rd Street consistent with the landscaping plan provided on Sheet LU-2 of the Land Use Plan Set included as **Exhibit B**.*

LCMC 18.30 Procedures

LCMC 18.30.070 Approval Criteria

The review authority shall approve an application for project review if he or she finds the applicant has sustained the burden of proving that:

- (1) The application complies with the applicable regulations of the La Center development code; or that the application can comply with all applicable regulations by complying with adopted conditions of approval; or that necessary adjustments, exceptions, modifications or variations have been approved or are subject to approval prior to final plat approval.

- (2) The development makes adequate provision for public services consistent with the level of service provided in adopted city policies, plans and regulations.**

Findings: This application was deemed technically complete on June 13, 2024, and all required materials have been submitted. The proposed expansion is categorized as a Type I Site Plan review, subject to the provisions of LCMC 18.30.080. The proposal does or can comply with applicable approval criteria as noted within this staff report.

LCMC 18.30.080 Type I Procedure

- (1) Decision.** Within 21 calendar days after the date an application subject to a Type I process is accepted as technically complete, the review authority shall issue a decision that approves, approves with conditions, or denies the application; provided, an applicant may agree in writing to extend that time and may provide additional information within that time at the request of the city. The decision shall include a brief summary of the relevant facts and applicable standards for the application and of how the application complies with those standards based on the facts and evidence, including any conditions of approval.
- (2) Notice of the Decision.** Within seven calendar days after issuing a decision regarding an application subject to a Type I process, the city clerk shall mail a copy of the decision to the applicant and applicant's representative(s).
- (3) Appeal and Post-Decision Review.** The applicant may appeal the decision pursuant to LCMC 18.30.130 or may apply for post-decision changes pursuant to LCMC 18.30.150.

Findings: The subject application was deemed technically complete on June 13, 2024. Consistent with the procedural timelines established by this section, the staff report and decision has been issued within 21 calendar days. Notice of the decision will be provided accordingly, and the appeal period will officially begin following the date of notice.

LCMC 18.145 Residential Professional District (DT)

LCMC 18.145.010 Permitted Uses

- (1) Permitted uses in the RP district shall be inclusive of all permitted uses in the LDR-7.5, MDR-16 and C-1 zoning districts, subject to the applicable provisions of this and other applicable La Center Municipal Code titles.**

Findings: The subject property is a split-zoned parcel of land, with a designation of Downtown Commercial (C-1) over the eastern half of the parcel, and a zoning designation of Residential/Professional (RP) over the western half of the parcel. The proposed addition to the existing casino structure falls within the C-1 portion

of the property and is therefore beholden to the provisions outlined in LCMC 18.150. The proposed use is permitted within the C-1 and C-3 zones as noted below and therefore is permitted in RP.

LCMC 18.145.040 Development Standards

- (1) Commercial developments shall be subject to Chapter 18.150 LCMC, Commercial Districts (C-1 and C-3).**

Findings: The proposed addition will accommodate the reconfiguration and expansion of an existing restaurant within the existing Fortune Casino. The use is considered a commercial development and is therefore subject to the requirements outlined in LCMC Chapter 18.150.

LCMC 18.150 Commercial Districts (C-1 and C-3)

LCMC 18.150.010 Purpose

- (1) Downtown Commercial (C-1) District.** These less intensive commercial areas are intended to provide for the convenience shopping needs for a limited trade area. Typical allowed uses include convenience food markets, beauty and barber shops, bakeries, and limited-service industries. They should occur as small centers, ideally at the junction of two public streets (collectors or arterials). These areas are held to a high standard of site plan review due to the proximity of the residential zones. Development activity shall meet, to the maximum extent feasible and prudent, the design guidelines contained in this chapter.
- (2) Within Cardroom Overlay (C-3) District.** This overlay district is intended to provide for the location of cardrooms within other commercial districts. All uses in this district, except parking areas, shall be contained entirely within an enclosed building.

Findings: The subject property is zoned C-1 with a C-3 overlay zone. Therefore, the standards of LCMC 18.150 must be met.

Condition: *All uses must be contained entirely within an enclosed building.*

LCMC 18.150.020 Uses

The uses set out in Table 18.150.020 are examples of uses allowable in the various zone districts. The appropriate review authority is mandatory.

Findings: The proposed addition is an expansion of an existing retail/commercial use for the Fortune Casino and associated restaurant, a permitted use. Expansion of existing permitted uses are subject to the Type I Site Plan Review procedure based upon the scope and scale of the addition.

LCMC 18.150.030 Development Standards

- (1) New lots and structures and additions to structures subject to this section shall comply with the applicable standards for lots and building height, and setbacks in Tables 18.150.030(1) and 18.150.030(2). Site plan review is required for all new development and modifications to existing permitted development unless expressly exempted by this title.**

Findings: The subject property is 56,679 square feet in size, which exceeds the minimum standard as outlined in Table 18.150.030(1). The project site is zoned C-1 and abuts C-1 parcels to the north and east (separated by a street), and RP parcels to the south (separated by a street) and west; therefore, 5-foot setbacks with L1 landscaping buffers are required along the southern portion of the subject property. However, as reflected on Sheet LU-2 of the submitted Land Use Set (**Exhibit B**), the existing building is located 1 foot from the southern property line. The proposed addition maintains the existing setback and proposes new landscaping along the east side of the addition between NW Pacific Highway and the building. New street landscaping will be installed within a newly created landscaping strip along W. 3rd Street where the existing driveway will be removed and replaced with an ADA ramp and crosswalk. Given the limited scope of this building expansion, the anticipated landscaping improvements, and the existing improvements of the RP site south of the project limits, a 5' wide L1 buffer is not required.

(2) Landscaping.

- a. In the C-3 district, not less than 15 percent of the total lot area shall be landscaped. Pedestrian plazas, sidewalks over the minimum width and other pedestrian amenities may be used to meet the required landscaping at a one-to-one (1:1) ratio.**
- b. In the C-1 district, where zero lot line development is proposed, not less than 10 percent of the site shall be landscaped. Hardscape surfaces, such as tables, plazas, and planting boxes, may be used to satisfy the landscaping requirement. Where zero lot line development is not proposed, not less than 15 percent of total lot area shall be landscaped.**

Findings: The project site contains existing structures and landscaping approved prior to the implementation of the standards outlined in the LCMC. As such, the standards of LCMC 18.150.030(2) listed above are not currently met for the subject property. Since the proposed addition is minor in nature and includes a net increase in landscaping of 250 square feet (4.9% of total lot area), and the subject property is already fully developed, further improvements to meet the current landscaping standards will not be required.

(3) Site Plan Review Standards. In addition to the site plan approval criteria contained in Chapter 18.215 LCMC, the following shall apply to all development within the commercial districts unless expressly exempted. The review authority may modify these standards for the expansion of existing uses for site-specific issues:

- a. Primary pedestrian circulation routes connecting the street(s) to the primary building entry or entries shall be a minimum of 11 feet (eight feet of sidewalk/walkway with a minimum of three feet of landscaping on one side of the pedestrian route). The minimum three-foot landscaped area shall contain street trees planted at 30-foot intervals to provide for a continuous tree canopy. The required landscape area should function as a buffer between auto drives and the pedestrian routes. Where the pedestrian circulation route crosses vehicular accessways the landscape area is not required. Pedestrian awnings, with a minimum of eight feet of head clearance, shall be provided along the front building facade when abutting public rights-of-way. Awnings may not project over the parking area or street.
- b. Landscaping
 - i. Landscaping is required along the side of all buildings in the C-3 district where the primary pedestrian access is provided. Minimum requirements shall be trees provided every 30 feet on center planted along the length of the parcel. Street trees may not be planted closer than 25 feet away from street corners to preserve intersection sight distance.
 - ii. Landscape buffers required by LCMC 18.245.060 shall not apply between pad development sites and the remainder of the development site.
 - iii. Landscaping required between commercial developments may be altered where parking lots are adjoining as follows: a single, shared five-foot buffer instead of five feet for each development; provided, that joint access is provided between parcels for auto and pedestrian access and trees are planted every 20 feet on center along the length of the buffer.

Findings: The proposed expansion of the existing Fortune Casino use is not required to meet the additional standards outlined in LCMC 18.150.030(3) due to the existing conditions of the project site limiting the feasibility of additional improvements beyond the proposed addition. It should be noted that the proposed minor addition will result in a net increase in landscaping of 250 square feet along the east side of the building adjacent to NW La Center Road and W. 3rd Street.

LCMC 18.155 Downtown Overlay District (DT)

LCMC 18.155.020 Applicability

The downtown overlay standards apply to all new commercial, mixed-use, and multifamily buildings within the downtown overlay zone as designated on the city's zoning map. These standards also apply to major exterior redevelopment or rehabilitation with costs exceeding

80 percent of the assessed value of the building and land. For exterior improvements exceeding this threshold, the requirement is that only the proposed improvements meet the standards of this chapter. The standards in this chapter do not apply to the following:

- (1) New single-family construction or the exterior remodel of existing single-family residences;**
- (2) The construction of new bed and breakfast uses or conversion of single-family homes to bed and breakfast uses;**
- (3) The interior remodel of buildings;**
- (4) Exterior building improvements less than 80 percent of the building and land assessed value;**
- (5) Replacement of windows, awnings, roofing materials, or other exterior building elements for maintenance reasons only to match existing materials and design.**

Findings: Compliance with the dimensional and site design standards of LCMC 18.155.050 are not required based upon the scope/scale of the proposed addition, given that the cost of the addition does not exceed 80 percent of the assessed value of the building and land; however, changes to the façade of the existing building must comply with the architectural requirements outlined in the 2005 Downtown Design Guidelines. The proposed addition will maintain the distinct character of the Fortune Casino and the broader Downtown Overlay District by adding columns and overhead railing features which are consistent with the existing main façade. The existing and proposed exterior building elevations are as Sheet LU-5 and LU-6, within the Land Use Set (**Exhibit B**).

LCMC 18.155.030 Uses

The following uses are allowed uses within the DT overlay district:

- (1) All permitted and lawfully established uses existing prior to January 1, 2007.**
- (2) All uses specifically permitted or conditional in the base zoning district(s) shall continue to be allowed in accordance with the review procedures of this title.**

Findings: The existing use of a casino and restaurant was lawfully established prior to January 1, 2007. Therefore, the proposed addition and continuation of the existing use is considered an allowed use within the DT overlay district.

LCMC 18.215 Site Plan Review

LCMC 18.215.020 Applicability

The provisions of this chapter shall apply to all changes of use, new construction, expansion or alteration of the use of land unless expressly exempted by this title. No use shall be established, no structure erected or enlarged, and no other improvement or construction undertaken except

as shown upon an approved plan which is in conformance with the requirements set out in this title.

Applications for site plan review are subject to LCMC 18.30.020, Pre-application review.

Findings: The proposed addition and remodel to the existing Fortune Casino is considered an expansion of the use of land and is therefore subject to the standards outlined in LCMC 18.215.

LCMC 18.215.040 Site plan review types and procedures

(1) Building Facades

a. **Building Permit Reviews.** These types of reviews shall be processed as a Type I land use action. These site plan reviews are typically relatively minor in nature, consistent with the zoning of surrounding land uses and do not have a substantial impact on the natural and built environment. The following are classified as Type I site plan reviews:

- i. Changes in use of an existing structure or site;
- ii. New construction or expansions of existing construction which do not exceed:
 1. Four thousand square feet of additional floor area;
 2. Twenty new parking spaces;
 3. Four new multifamily residential units.

(2) If a site plan review is part of an overall application (i.e., CUP) that is subject to a higher review process, the site plan review shall be considered in conjunction with the overall application.

Findings: Consistent with the provisions of LCMC 18.215.040(1)(a-ii), the proposed addition is less than 4,000 square feet, does not result in twenty new parking spaces, and is entirely commercial in nature. No additional modifications are proposed, and no higher review processes are required. Therefore, the proposal is subject to Type I Site Plan Review.

LCMC 18.215.050 Submittal Requirements

(1) For a Type I site plan review application, the applicant shall submit the information required for a Type I application as set forth in LCMC 18.30.080, as well as the following:

- a. A site plan meeting the standards of Chapter 18.230 LCMC and subsection (2)(e) of this section;
- b. A landscaping plan meeting the standards of LCMC 18.245.060 or such information included on the site plan;
- c. A lighting plan meeting the standards of LCMC 18.245.040 or such information included on the site plan;

Findings: The above required materials have been included with the application submittal as Sheets LU-1 and LU-2 of the Land Use Set included as **Exhibit B**.

LCMC 18.215.060 Criteria for site plan approval

(1) In approving site plans, it shall be the responsibility of the planning director or his designee to review each plan for compliance with all provisions of this chapter and any other applicable regulations that may affect the final plan as submitted or revised.

(2) In reviewing a site plan for approval, the director shall find that all of the following have been met:

a. The proposed plan shall meet all applicable provisions of this title and other appropriate provisions of the La Center Municipal Code; the following are enumerated to indicate the various requirements under which a plan must be found consistent. Failure to meet any one of these, and other requirements not necessarily specified here, shall be grounds for denial of site plan approval.

Findings: As discussed throughout this staff report, the proposed plan meets all applicable provisions of LMC 18.215 as they relate to the proposed building addition.

b. The proposed use is permitted within the district in which it is located.

Findings: The proposed addition is considered an expansion of an existing, permitted use within the C-1 zone and C-3 zoning overlay.

c. The proposal meets the lot, yard, building, height and other dimensional requirements of the district within which it is located.

Findings: As discussed earlier in the findings related to the development standards of LCMC 18.150, the proposed addition generally meets the dimensional requirements of the C-1 zoning district and C-3 zoning overlay, with the exception that the proposed street landscaping within the right of way will act as the necessary landscape buffer between the site and the adjacent residential use to the south.

d. The proposal meets the screening, buffering and landscape strip requirements, as set forth in LCMC 18.245.060.

Findings: The proposal meets the screening, buffering and landscape strip requirements as set forth in LCMC 18.245.060. Findings specific to those standards are addressed later in this staff report.

e. Minimum parking and loading space requirements are met, as required by Chapter 18.280 LCMC.

Findings: The applicable standards of LCMC 18.280 are addressed within this staff report.

- f. All applicable conditions and criteria contained in other titles of the La Center Municipal Code are met.**

Findings: All applicable conditions and criteria of the LCMC are addressed throughout this staff report.

- g. Improvement requirements are provided in accordance with the applicable sections of the La Center development code.**

Findings: Findings related to the applicable improvement requirements of LCMC have been included throughout this staff report.

- h. All conditions of any applicable previous approvals (i.e., CUP) have been met.**

Findings: The proposed addition is an expansion of the existing sit down restaurant/drinking establishment. There are no known conditions of any prior approvals that must be adhered to as part of this proposal.

- i. Development subject to site plan review has provided underground public and private utility lines including but not limited to those for electricity and communication.**

Findings: The project site has available underground public utility lines. No new utility lines are proposed as part of this application.

- j. Public water, sewer and stormwater lines have been installed in conformance with the standards of the city code. Public water, sewer and stormwater lines within or along the frontage of a development have been extended to the extreme property lines of that development unless it can be demonstrated to the city engineer that such extensions are impractical, infeasible or inappropriate.**

Findings: All existing public water, sewer and stormwater lines are adequate to serve the proposed expansion. No new utilities are proposed as part of this application.

- k. Proposed phasing plans do not exceed six years and all required public infrastructure is installed in the first phase of the development.**

Findings: Phased development is not proposed as part of this application. The criterion is not applicable.

LCMC 18.215.080 Final Site Plan Approval

Where a site plan is issued subject to conditions that require the submittal of additional materials or changes to existing plans, the director may require that the applicant submit for final site plan approval to determine if the revised plans comply with the conditions of site plan approval. Final site plans shall be considered as Type I applications.

Findings: Conditions of approval have been provided as part of this application review. Therefore, submittal of a final site plan must be provided to demonstrate compliance with all standards.

Condition: *A final site plan must be submitted prior to building permit approval.*

LCMC 18.215.100 Compliance Required and Expiration

- (1) All development of the property for which a site plan was approved shall conform to the approved site plan and any conditions imposed thereon unless amended or replaced by a subsequent city approval.
- (2) Site plan approvals shall be valid for two years from the date of issuance, during which time substantial completion of the project improvements shall have occurred. The planning director may approve up to two one-year extensions if:
 - a. There have not been any substantial changes in the laws governing the development of the site, with which lack of compliance would be contrary to the changed laws; and
 - b. The applicant has pursued development in good faith. Good faith shall be evidenced by progress on final permitting, surveying, engineering, and construction of improvements.

Findings: The proposed addition and all associated landscaping and lighting must be constructed in accordance with the approved site plan submitted as part of this application.

Condition: *Preliminary site plan approval will be valid for two years following the date of issuance of this staff decision. Two one-year extensions may be granted according to the provisions of LCMC 18.215.100(2).*

LCMC 18.245 Supplementary Development Standards

LCMC 18.245.030 Solid Waste

If refuse containers are used by more than one unit for temporary storage of solid wastes, the container(s) shall be screened from view from off-site by a sight-obscuring fence and/or evergreen landscaping and the area kept clean of all litter.

Findings: No refuse containers for the temporary storage of solid waste are proposed. Therefore, the criterion is not applicable.

Condition: *Any refuse containers used for the temporary storage of solid waste must be screened from view from off-site by a sight-obscuring fence and/or evergreen landscaping. Furthermore, the area must be kept clean of all litter.*

LCMC 18.245.040 Lighting

(1) Lighting, including permitted illuminated signs, shall be designed and arranged so as not to do the following:

- a. Reflect or cast glare into any residential zone;**
- b. Rotate, glitter, or flash; or**
- c. Conflict with the readability of traffic signs and control signals.**

(2) Lighting on any site shall not cause more than one foot-candle measured at any property line.

Findings: Existing lighting will be relocated as part of the proposed expansion. New lighting locations are depicted on Sheet LU-2 of the Land Use Set included as **Exhibit B**.

Condition: *All proposed lighting must be designed and arranged so as not to reflect or cast glare into any residential zone, rotate, glitter, or flash, or conflict with the readability of traffic signs and control signals. Furthermore, no lighting shall cause more than one foot-candle at any property line.*

LCMC 18.245.050 Noise

All development shall comply with the noise standards in Chapter 173-60 WAC.

Findings: Development will be subject to the noise standards outlined in Chapter 173-60 WAC.

Condition: *All development must comply with the standards of Chapter 173-60 WAC.*

LCMC 18.245.060 Landscaping

(1) The following standards apply to landscaping and screening on private property required pursuant to Table 18.245.060. Landscaping and screening within public rights-of-way shall comply with the applicable provisions in Chapter 12.10 LCMC

Findings: The project site contains existing structures and landscaping approved prior to the implementation of the standards outlined in the LCMC. As such, the standards of

LCMC 18.245.060 are not currently met for the subject property. However, overall site landscaping will increase by 250 square feet as part of this application. Given the existing developed nature of the site, the relative size of the addition, the proposed increase in overall landscaping (from 4.4 to 4.9% of total lot area), and relative costs to bring the site into compliance, additional landscaping beyond that proposed will not be required.

(9) Parking and loading areas shall be landscaped as follows[...]

Findings: No changes are proposed to the parking lot area. Additional landscaping within the parking area is not required as part of this application.

LCMC 18.280 Off-Street Parking and Loading Requirements

LCMC 18.280.020 Applicability

- (1) Off-street parking shall be provided consistent with this chapter in the following situations:**
 - a. For all new development;**
 - b. Expansions of the square footage of an existing structure by 20 percent; provided, that parking requirements shall be determined based on the use expansion area only;**
 - c. When construction valuation exceeds 80 percent of the existing site and building valuation;**
 - d. Concurrent with construction of any parking lot, whether required or not; or**
 - e. When there is a change in use, which increases the required number of parking spaces by more than 10 percent.**
- (2) Every use for which a building is erected, structurally altered, or there is a change in use that will require the receipt or distribution of materials or merchandise by truck or similar vehicle shall provide off-street loading spaces as required by LCMC 18.280.080.**

Findings: The proposed addition is less than 20 percent of the existing structure's square footage and does not exceed 80 percent of the existing site and building valuation. No modifications are proposed for the parking lot area.

LCMC 18.280.080 Loading

- (1) Commercial, industrial and public utility uses shall provide truck loading or unloading berths in accordance with Table 18.280.080(1):**
- (2) Restaurants, office buildings, hotels, motels, hospitals and institutions, schools and colleges, public buildings, recreation or entertainment facilities, and any similar uses shall provide off-street truck loading or unloading berths in accordance with Table 18.280.080(2):**

- (3) A loading berth shall contain space 12 feet wide and 35 feet long and have a height clearance of 14 feet. Where the vehicles generally used for loading and unloading exceed these dimensions, the required length of these berths shall be increased.
- (4) Existing loading spaces shall not be eliminated, if elimination would result in less space than is required to satisfy the requirements of this section.
- (5) Off-street parking areas used to fulfill the requirement of this title shall not be used for loading and unloading operations except during periods of the day when not required to take care of parking needs.
- (6) Loading docks shall be located on the side or rear of the building.

Findings: No changes are proposed to the existing parking lot area, nor will any existing loading spaces be eliminated. Therefore, the loading requirements of LCMC 18.280.080 are considered satisfied.

Condition: *Any off-street parking areas used for loading/unloading operations shall not be used except during periods of the day when the off-street parking area is not required to fulfill parking needs.*

LCMC 18.282 Outdoor Lighting

LCMC 18.282.020 Applicability

- (1) **New Development.** All new nonresidential land uses and multifamily dwelling units with a common outdoor area that require a permit shall meet the requirements of this chapter.
- (2) **Minor Additions.** Additions or modifications to existing nonresidential buildings or multifamily dwelling units having a common outdoor area of less than 25 percent of gross floor area or parking spaces and that require a building permit shall require the submission of a complete inventory and site plan detailing all existing and any proposed new outdoor luminaires. Any new outdoor luminaires on the site shall meet the requirements of this chapter with regard to shielding and lamp type; the total initial lumens after the modifications are complete shall not exceed that on the site before the modification, or that permitted by this chapter, whichever is less.

Findings: A lighting plan identifying the existing outdoor luminaires has been included as Sheet LU-2 of the Land Use Set (**Exhibit B**). The applicant proposes to relocate the existing site lighting elsewhere in the site to accommodate the addition. The proposal maintains the existing lighting for the site, consistent with this provision.

Condition: *Existing and proposed outdoor luminaires shall be reflected on the final site plan.*

III. DETERMINATION

The review authority finds the applicant has sustained the burden of proving the application complies with the applicable provisions of the La Center Municipal Code. Therefore, **the subject application is approved subject to the following conditions of approval.**

A. Planning Department Conditions of Approval

1. All uses must be contained entirely within an enclosed building.
2. A final site plan must be submitted prior to building permit approval.
3. Preliminary site plan approval will be valid for two years following the date of issuance of this staff decision. Two one-year extensions may be granted according to the provisions of LCMC 18.215.100(2).
4. Any refuse containers used for the temporary storage of solid waste must be screened from view from off-site by a sight-obscuring fence and/or evergreen landscaping. Furthermore, the area must be kept clean of all litter.
5. All proposed lighting must be designed and arranged so as not to reflect or cast glare into any residential zone, rotate, glitter, or flash, or conflict with the readability of traffic signs and control signals. Furthermore, no lighting shall cause more than one foot-candle at any property line.
6. All development must comply with the standards of Chapter 173-60 WAC.
7. Any off-street parking areas used for loading/unloading operations shall not be used except during periods of the day when the off-street parking area is not required to fulfill parking needs.
8. Existing and proposed outdoor luminaires shall be reflected on the final site plan.

B. Engineering Department Conditions of Approval

1. Sawcut and remove the existing driveway and place new curb ramp to meet ADA standard, per City of La Center Standard Details and the site plan. Standard Plan ST-8 and ST-7A shall be used to construct the new ramp. Curb and gutter and sidewalk and sidewalk shall be installed to match the new ramp per detail sheets ST-5 (curb and gutter), and sidewalk detail ST-23. Standard details included as **Exhibit E**.
2. Street trees shall be planted along W. 3rd Street consistent with the landscaping plan provided on Sheet LU-2 of the Land Use Plan Set included as **Exhibit B**.

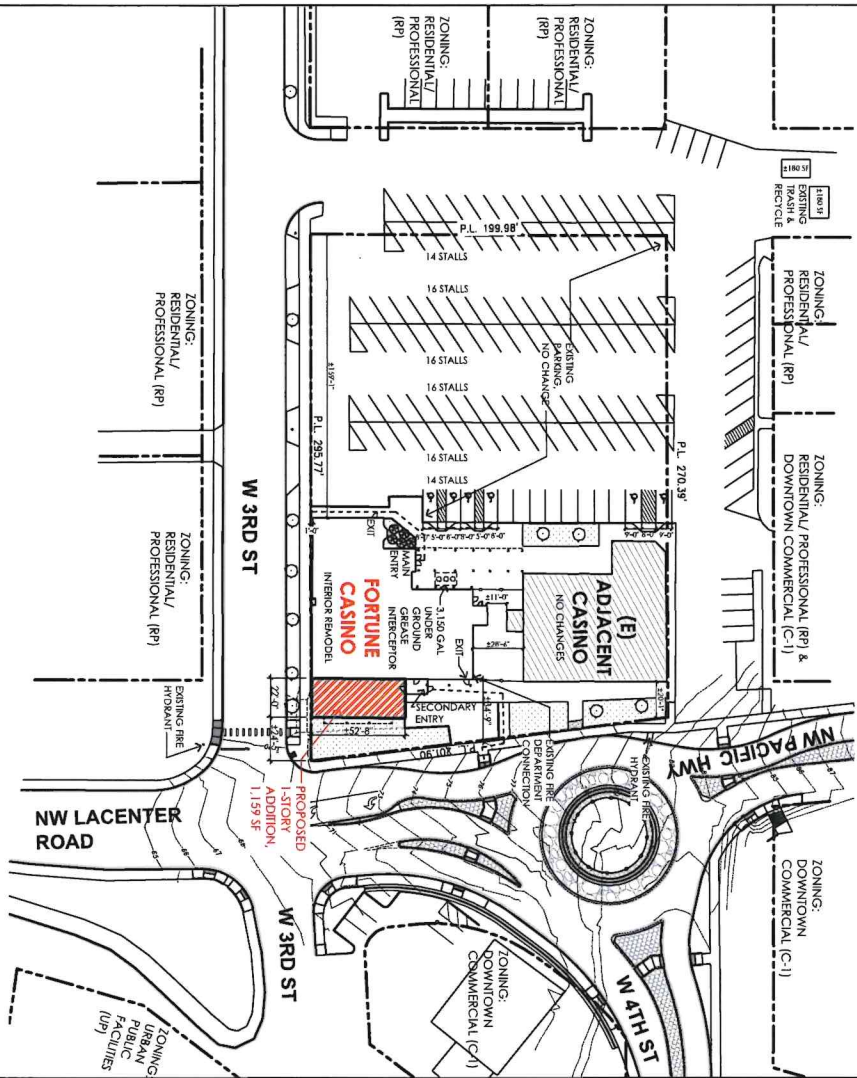
IV. APPEALS

A final decision regarding a Type I application may be appealed by the applicant, applicant's representative, or by any person, agency, or firm with an interest in the matter within 14 calendar days after the date of decision. Appeals shall contain all information specified in LCMC 18.30.130. The public record for this file is available at the City's Public Works Building, 210 East 4th Street, La Center, Washington between the hours of 8:00 a.m. and 5:00 p.m., Monday through Friday. Please contact Angie Merrill at 360-263-7665 for further information.

Exhibits: Land Use Application – **Exhibit A**
 Land Use Plan Set – **Exhibit B**
 Parcel Survey – **Exhibit C**
 Reimbursement Agreement – **Exhibit D**

 Public Works Standard Details – **Exhibit E**

FORTUNE CASINO - LA CENTER



SITE PLAN
SCALE: 1/32" = 1'-0"

PROJECT DESCRIPTION
APPLICATION: TYPE LAND USE APPLICATION PER LCAC 16.213.040(1)(A). TRAFFIC IMPROVEMENT IN EXISTING CASINO COMPLEX OF 38,000 SQ FT. CONSTRUCTION OF INTERIOR IMPROVEMENTS. NO CHANGE OF USE PROPOSED. ALSO 1,199 SF ONE-STORY ADDITION PROPOSED.

CONTACT INFO.

BUILDING OWNER: 18 100 318 LLC
111 S 3RD ST
VANCOUVER, WA 98667
CONTACT: DAVID HILL
206-941-2202
dohill@bigwinning.com

CONTRACTOR: TBD

ARCHITECT: CB ANDERSON ARCHITECTS, PLLC
PROJECT CONTACT: 7207 GREENWOOD AVE. N.
SEATTLE, WA 98103
CONTACT: AMR HAYES
AMERICANARCHITECT.COM

STRUCTURAL ENGINEER: BRIT RILLAN, PE, SE
NO STRUCTURAL ENGINEERING
500 BROADWAY ST., SUITE 400
VANCOUVER, WA 98660
CONTACT: BRIT RILLAN
BRITRILLAN@STRUCTURAL.COM

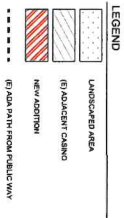
CODES

La Center Municipal Code, 2021 International Building Code & Existing Building Code with Washington State Amendments, 2021 WA State Entry Code, Washington Administrative Code & Other Applicable Local & National Agencies.

SHEET INDEX

- LU-1 SITE DATA/GENERAL DATA
- LU-2 GENERAL SITE DETAILS
- LU-3 EXISTING AND PROPOSED ADDITION
- LU-4 EXISTING SITEWORK ELEVATIONS
- LU-5 PROPOSED EXTERIOR ELEVATIONS
- LU-7

EXTERIOR LIGHTING: THE CLIENT SHALL NOT CAUSE MORE THAN ONE FOOT-CANDLE MEASURED AT ANY POINT ON THE



PROJECT DATA

PROJECT ADDRESS: 318 OLD PACIFIC HWY
LA CENTER, WA 98629

ZONE: RESIDENTIAL/PROFESSIONAL
DOWNTOWN COMMERCIAL
43354000

TAX PARCEL #: 43354000

LEGAL DESCRIPTION: LACENTER 51/2 BLK 1 S
GROUP A2 / CASINO

OCCUPANCY / USE: NO CHANGE IN USE

LOT SIZE: 4,647 SF

BUILDING HEIGHT: 2.5'

PARKING: REQUIRED: 31 DOWN REQUIRED PARKING
EXISTING: 180 (100% OF AREA)
REQUIRED: 2028 (102% OF AREA)
BRING PARKING NO CHANGE
REQUIRED: 5 OF THEM TO BE ACCESSIBLE
ALL SHOWN WITH THE ADJACENT CASINO
EXISTING PARKING AREA: 1,403 SF = 45.5% OF SITE AREA
V-1 HOOR / 2799/2628

BUILDING TYPE: V-1 HOOR / 2799/2628

NUMBER OF STORES: TWO STORY

BUILDING FOOTPRINT: EXISTING BUILDING: 6,775 SF (12% OF SITE AREA)
PROPOSED ADDITION: 1,199 SF (2% OF SITE AREA)
TOTAL FOOTPRINT: 7,974 SF (18% OF SITE AREA)

IMPERVIOUS SURFACE: EXISTING: 4,847 SQ YD = 81.1% OF SITE AREA
PROPOSED EXTERIOR: NO CHANGES

LANDSCAPING: BRING: 2,497 (4% OF THE AREA)
EXISTING: 1,000 (2% OF THE AREA)
TOTAL: 3,497 = 4.5% OF SITE AREA

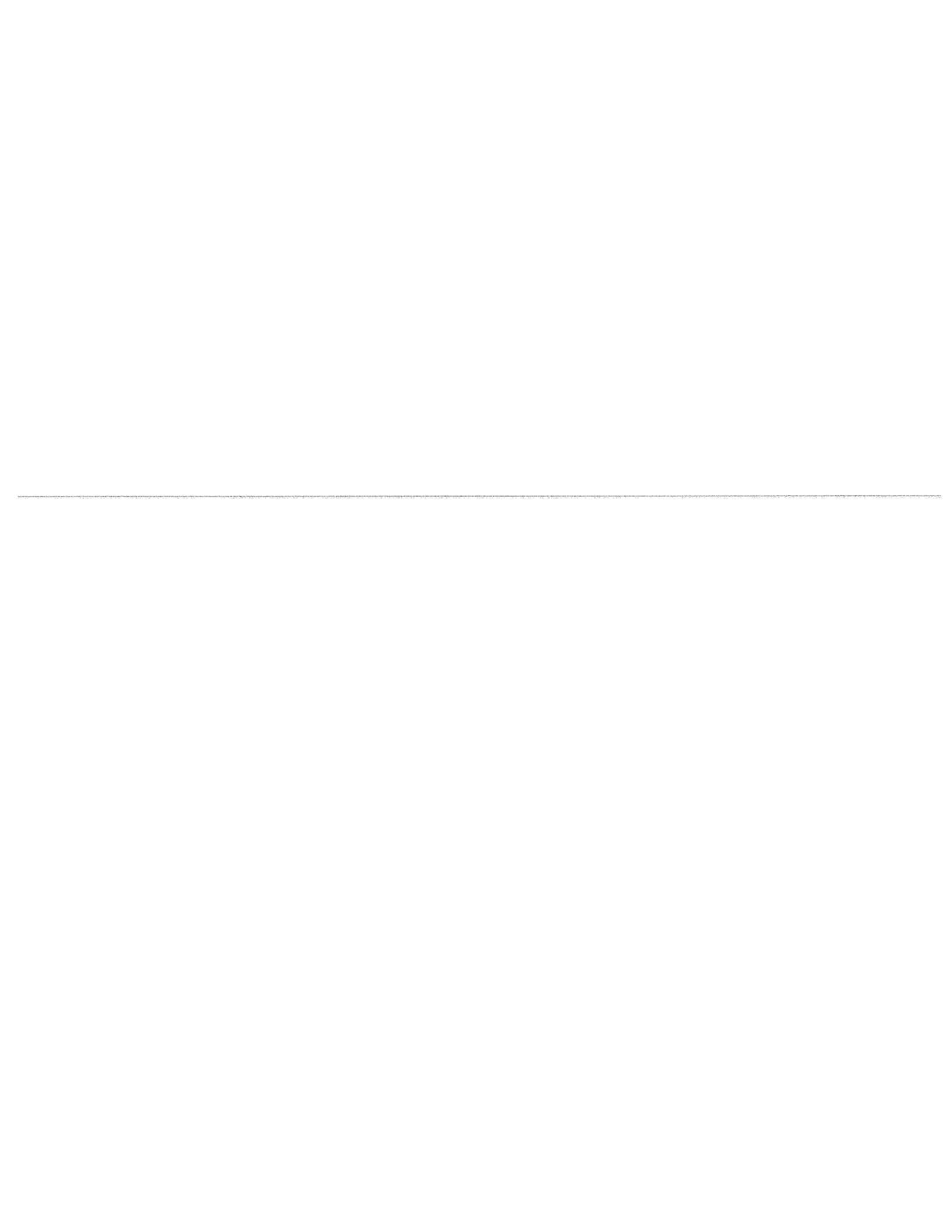
VICINITY MAP

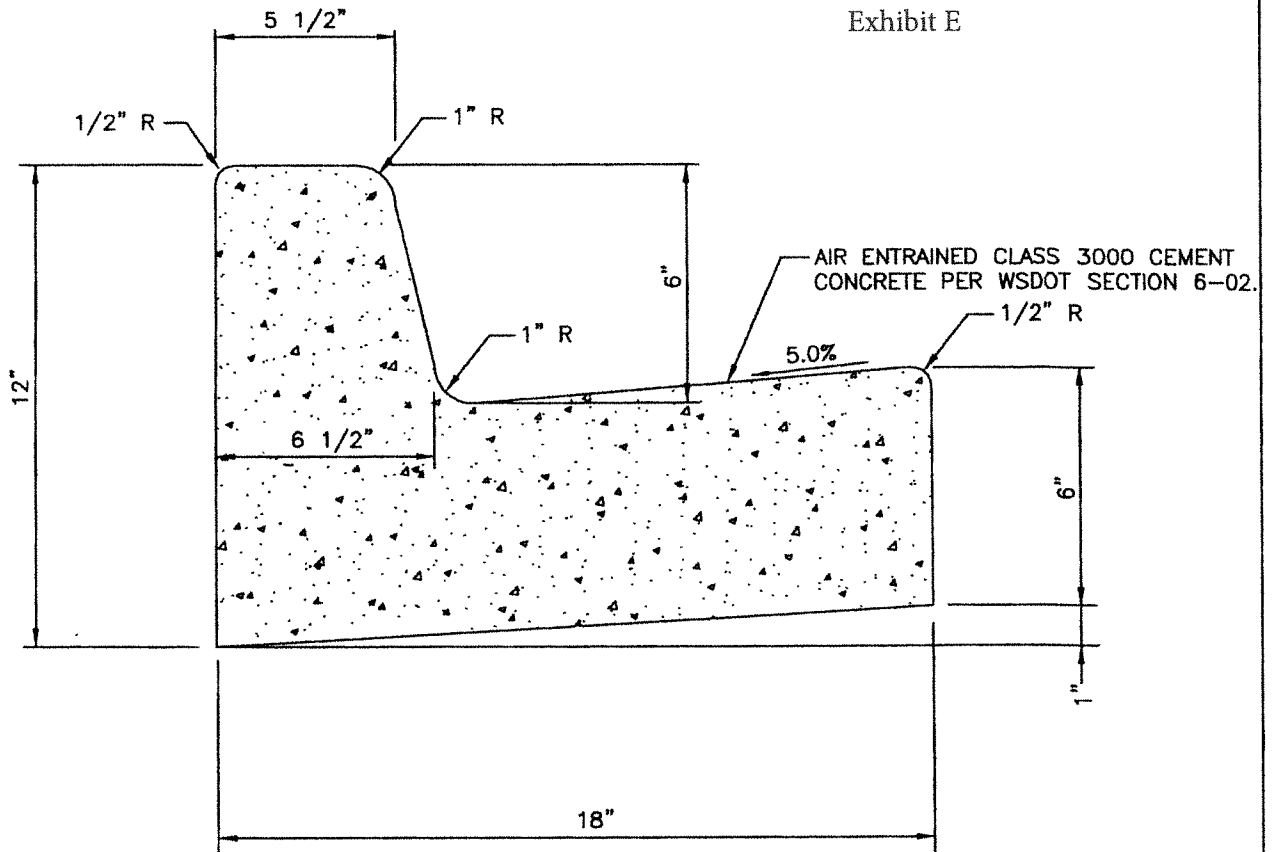


NOT FOR CONSTRUCTION UNLESS CITY APPROVAL STAMP APPEARS ON THIS SHEET

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<p>CLIENT: TIL GAMING AND FORTUNE CASINOS 3650 EAST VALLEY ROAD VANCOUVER, WA 98660 CONTACT: PAUL HODDER 206-300-3489 paul.hodder@tilgaming.com</p>	<p>CONSULTANT: BRIT RILLAN, PE, SE NO STRUCTURAL ENGINEERING 500 BROADWAY ST., SUITE 400 VANCOUVER, WA 98660 360-433-9793 brill@structural.com</p>	<p>CB ANDERSON ARCHITECTS PLLC 7207 Greenwood Avenue North Seattle, Washington 98103 Tel: 206-941-2202 Fax: 206-941-2202</p>	<p>SHEET TITLE: SITE PLAN / PROJECT DATA</p>	<p>PROJECT: FORTUNE CASINO 318 Old Pacific Highway La Center, Washington 98629</p>	<p>DESIGN BY: A/E/C 4/24/14</p> <p>SCALE: AS SHOWN</p> <p>DATE: 12 MARCH 2024</p> <p>JOB NUMBER: 21243</p> <p>SHEET NUMBER: LU-1</p>
			<p>LEGEND</p> <ul style="list-style-type: none"> UNIMPROVED AREA (E) ADJACENT CASINO NEW ADDITION (P) PUBLIC RIGHT-OF-WAY 		





NOTES:

1. CURB AND GUTTER CUTS FOR DRIVEWAYS SHALL NOT BE DONE UNTIL ISSUANCE OF BUILDING AND OR RIGHT-OF-WAY PERMIT.
2. CURB AND GUTTER REPLACEMENT SECTIONS WILL BE REPLACED AS ONE CONTINUOUS UNIT, MONOLITHIC, AS THE DETAIL DEPICTS.
3. EXPANSION JOINTS SHALL BE PLACED EVERY 45' & FALSE JOINTS EVERY 15'.
4. CONCRETE SHALL BE AIR ENTRAINED CLASS 3000 CEMENT PER WSDOT SPECIFICATION 6-02 EXCEPT AT DRIVEWAYS WHERE CONCRETE WILL BE CLASS 4000.
5. USE CURB & GUTTER ON ALL NEW ROADS.
6. PROVIDE A 15' TRANSITION BETWEEN EXISTING CURBS AND NEW CURB AND GUTTERS WHERE REQUIRED.

CURB & GUTTER DETAIL

PLAN #

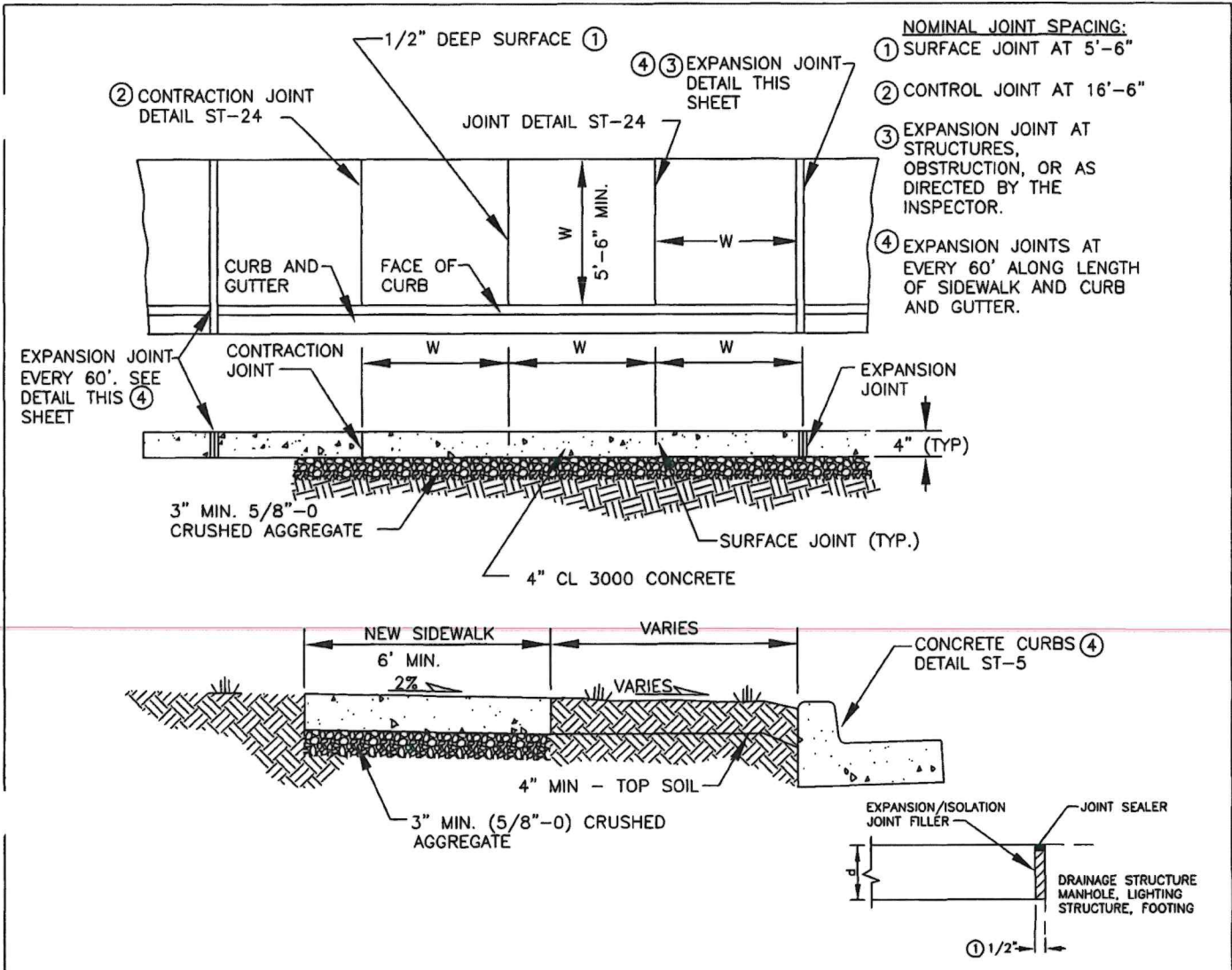


CITY OF LA CENTER APPROVED

REVISIONS:	DATE:	DRAWN:	DESIGNED:

ST-5

PUBLIC WORKS ENGINEER DATE



NOTES:

1. CONCRETE SHALL BE 3000 PSI MIN. (CL 3000), 3 1/2" SLUMP (MAX.).
2. COMPACT SUBGRADE AND AGGREGATE TO 95% OF MAXIMUM DRY DENSITY (3" MIN.).
3. FINISH SHALL BE MEDIUM BROOM PERPENDICULAR TO PEDESTRIAN TRAFFIC UNLESS OTHERWISE DIRECTED.
4. IN EXISTING SIDEWALK AREAS MATCH 2" SMOOTH FINISH BORDER AROUND EACH SIDEWALK PANEL IF PRESENT.
5. IF REPLACING EXISTING SIDEWALK THAT IS LESS THAN 6' IN WIDTH THE MINIMUM WIDTH SHALL BE 5'.
6. ALL EXISTING EDGES SHALL BE SAWCUT.
7. CROSS SLOPE OF PLANTER STRIP SHALL BE 2% (TYP.) AND 4:1 (MAX.).
8. PLANTER STRIP IS REQUIRED ONLY FOR MAJOR AND SECONDARY ARTERIALS.

EXPANSION/ISOLATION JOINT DETAIL
 ① 1/2" THICK PREFORMED JOINT FILLER FOR SIDEWALKS ADA RAMPS AND DRIVEWAYS

SIDEWALK DETAIL

PLAN #



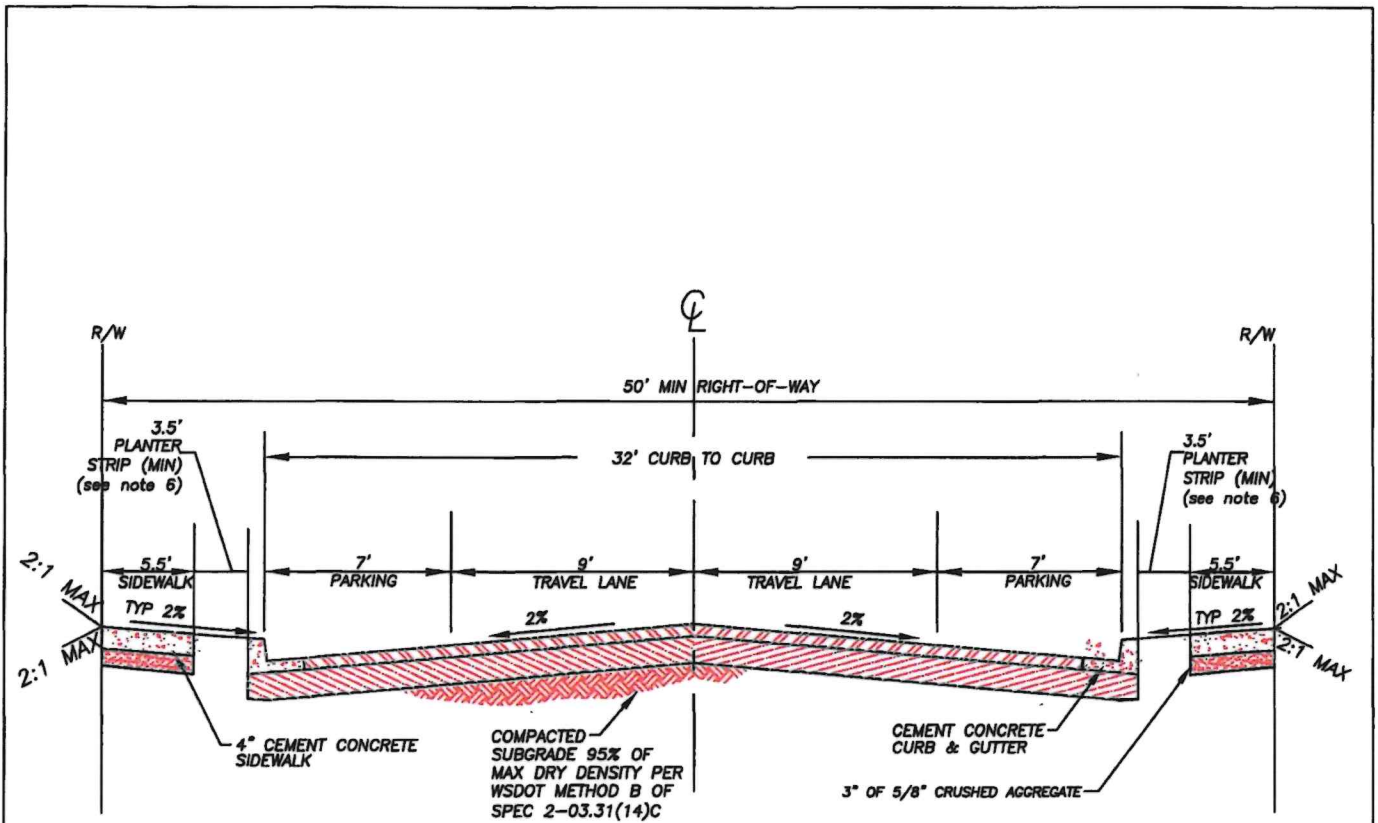
CITY OF LA CENTER APPROVED

TONY COOPER
 CITY ENGINEER

9/28/10
 DATE

REVISIONS:	DATE:	DRAWN:	DESIGNED:
1	9/28/10	BES	BES
2	7/17/13	ALC	ALC
3	6/10/14	ALC	ALC

ST-23



CONVENTIONAL CONSTRUCTION			THICK ASPHALT CONSTRUCTION		
AASHTO SOIL TYPE	ASPHALT THICKNESS	BASE ROCK THICKNESS	AASHTO SOIL TYPE	ASPHALT THICKNESS	BASE ROCK THICKNESS
A-1	0.35'	0.50'	A-1	0.42'	0.25'
A-2	0.35'	0.50'	A-2	0.42'	0.25'
A-3	0.35'	0.50'	A-3	0.42'	0.25'
A-4	0.35'	0.60'	A-4	0.45'	0.25'
A-5	0.35'	0.90'	A-5	0.55'	0.25'
A-6	0.35'	1.20'	A-6	0.62'	0.25'
A-7	0.40'	1.60'	A-7	0.80'	0.25'
OTHER	NO SECTION	ESTIMATED	OTHER	NO SECTION	ESTIMATED

NOTES:

1. WIDER SIDEWALKS MAY BE REQUIRED BY REVIEWING AUTHORITY UNDER CERTAIN CIRCUMSTANCES.
2. SUBGRADE REINFORCEMENT GEOTEXTILES SHALL BE INSTALLED OVER A-6 AND A-7 SOILS PRIOR TO CONSTRUCTING THE BASE AND SURFACING.
3. ASPHALT SURFACE FOR ALL ROADS SHALL BE CLASS 1/2" PG 64-22 HMA PER WSDOT STANDARD SPECIFICATIONS.
4. THE PAVEMENT STRUCTURE THICKNESSES IDENTIFIED FOR THESE SOIL TYPES ARE REQUIRED UNLESS A SITE SPECIFIC PAVEMENT DESIGN IS DONE. THE TOTAL PAVEMENT STRUCTURE SHALL NOT EXCEED 2.5 FEET.
4. EITHER CONVENTIONAL OR THICK ASPHALT CONSTRUCTION IS ALLOWED.
5. BASE ROCK SECTION SHALL BE TWO (2) INCHES OF 5/8"- 0" TOP COURSE, OVER REMAINING DEPTH OF BASE COURSE SHALL BE 1 1/4" MINUS PER WSDOT STANDARD SPECIFICATION SECTION 9-03.9(3). TOTAL BASE ROCK SECTION THICKNESS AS INDICATED IN THE TABLES.
6. ADDITIONAL LANDSCAPE STRIP WIDTH MAY BE NECESSARY TO ACCOMMODATE A LONGER DRIVEWAY APPROACH TO PREVENT VEHICLE ACCESS WITHOUT SCRAPING. ADDITIONAL RIGHT OF WAY MAY BE REQUIRED TO ACCOMMODATE THE WIDER LANDSCAPE STRIP.

LOCAL ACCESS (W/PLANTER)

PLAN #

	CITY OF LA CENTER APPROVED	REVISIONS:	DATE:	DRAWN:	DESIGNED:	ST-15A
		1	9/27/10	BES	BES	
		2	6/8/15	ALC	ALC	
		3	5/18/23	ALC	ALC	
	TONY COOPER					
	CITY ENGINEER		5/18/23			
			DATE			

