



REQUEST FOR UTILITY REVIEW – WATER AVAILABILITY
 P. O. Box 8900 (8600 N.E. 117 Ave) Vancouver, WA 98668
 (360) 992-8022 Email: wateradmin@clarkpud.com

APPLICANT INFORMATION

DATE: 2/28/2025

NAME	City of La Center		
ADDRESS	210 E. 4 th St.		
CITY	La Center	STATE	Wa ZIP 98629
TELEPHONE	(360) 263-3654	EMAIL	amerrill@ci.lacenter.wa.us

Notification Method: Email Type of Development: Short Plat
 Number of Units: 1

Property Location

Serial Acct. No	62648000		
Property Address	210 E. 4 th St., La Center WA, 98629		(or nearest cross street)
Property Size	1.56 Ac	Requested Fire Flow	TBD GPM

PLEASE SUBMIT PLAT MAP WITH REQUEST

GENERAL CONDITIONS FOR SERVICE (CPU Staff Only)

Clark Public Utilities (CPU) is the water purveyor for this site. CPU Water distribution maps indicate that there is an existing 6" C-900 water main within the current City of La Center site. The closest fire hydrant (FH-2261) is located on onsite to the West of proposed construction. See attached CPU water distribution map for reference. Utility drawings are for reference only and project engineer should verify existing conditions in the field prior to final design.

For this development, plan to connect to the existing 6" C-900 water main within City of La Center lot. The fire flow in the near vicinity has not been recently been calculated. The hydraulic grade line for this site is ~296-ft (La Center Pressure Zone). To request updated fire flow calculations please contact Water Services at (360) 992-8022 to get scheduled.

For this site a service line shall be hot tapped and sized based on the size of the facility. Install proper fire protection (i.e. hydrants and building sprinkler systems) as required by the Fire Marshal. An easement shall be granted to Clark Public Utilities for all water mains and services (up to the meter) located within private property.

Any existing, unused services shall be properly capped and abandoned. All water mains and services (up to the meter) located within private property, shall be included in an easement granted to Clark Public Utilities. Proper state approved backflow devices will be required for all domestic, fire and landscape water services. All hot taps shall be performed by a Utility approved contractor. The Developer is responsible for costs associated with the service and fire protection installation, right-of-way permitting, and any other needed water improvements.

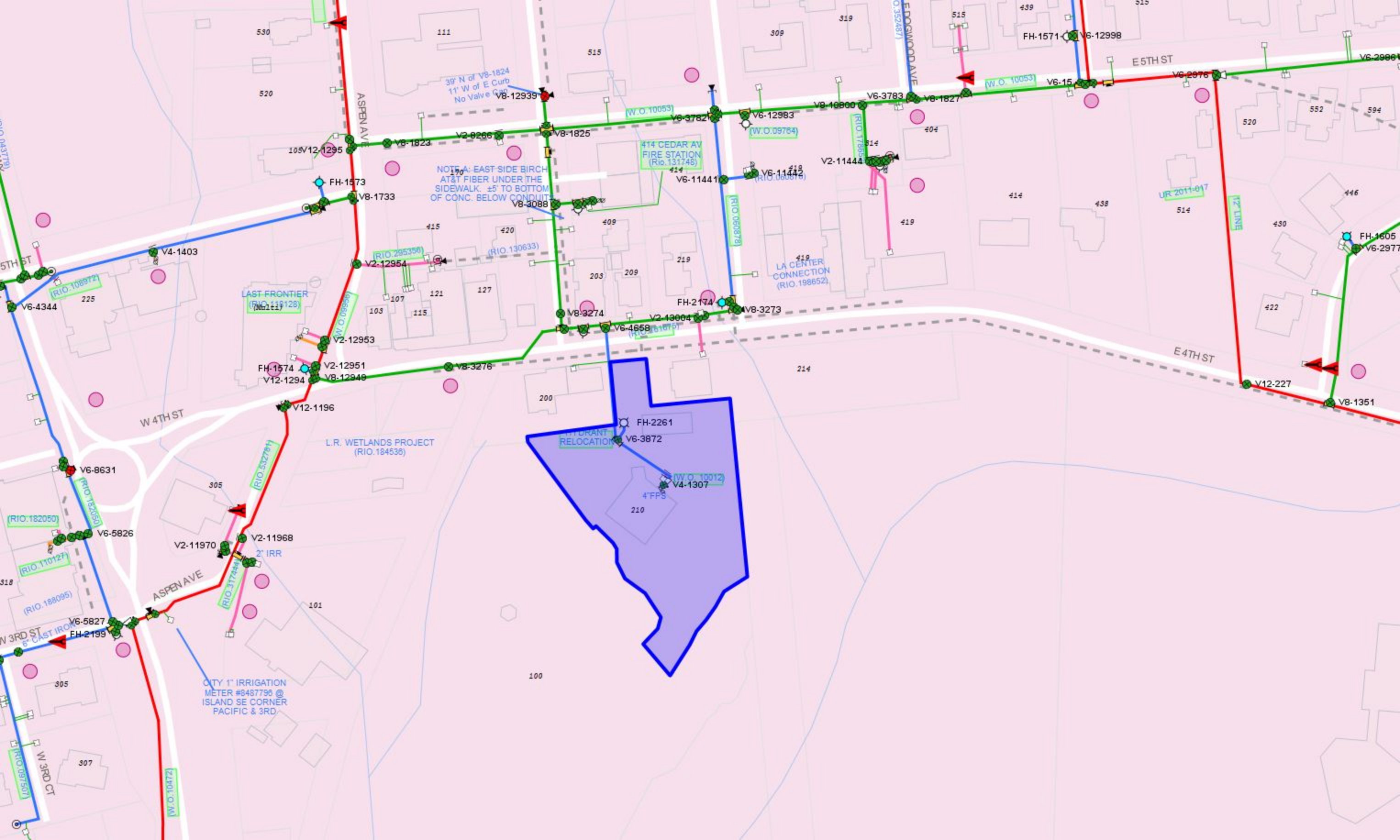
Submit full engineering plan set for further requirements and comments.

- Licensed Civil Eng. Drawing Required for Clark Public Utilities approval prior to construction
- Easement Required
- Clark Public Utilities has the capacity to serve, if the above conditions are met
- Developer/Owner shall pay County Right-of-Way fees based on off-site improvements

Review comments are subject to modification during detailed plan check and review.

This utility review is valid for six months after the date of signature below.

REVIEWED BY Jordan Handley DATE 2-28-2024
 Jordan Handley



NOTE A: EAST SIDE BIRCH AT&T FIBER UNDER THE SIDEWALK ±5' TO BOTTOM OF CONC. BELOW CONDUIT

39° N of V8-1824
11' W of E Curb
No Valve Cap

L.R. WETLANDS PROJECT
(RIO. 184538)

CITY 1 IRRIGATION
METER #8487796 @
ISLAND SE CORNER
PACIFIC & 3RD

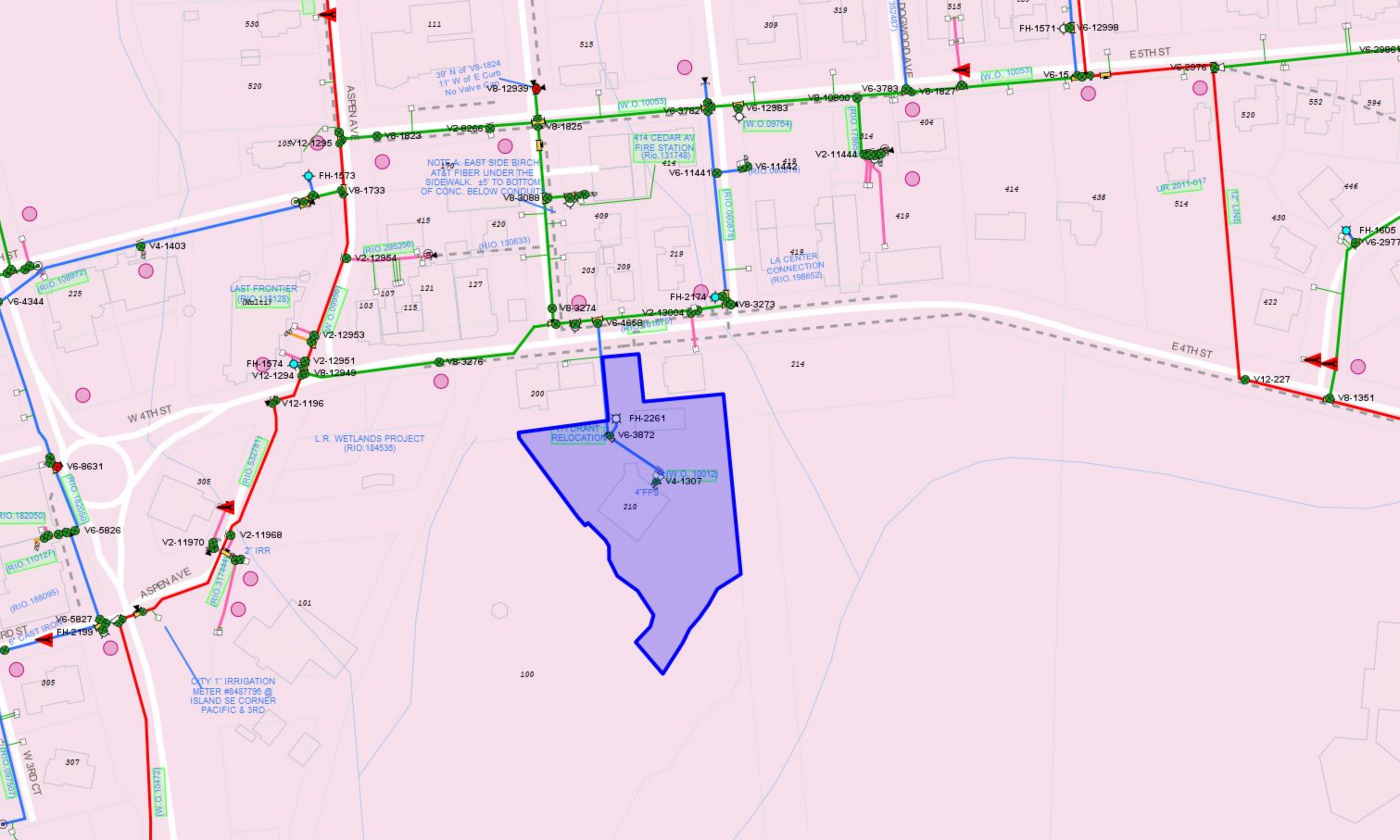
HYDRANT
RELOCATION

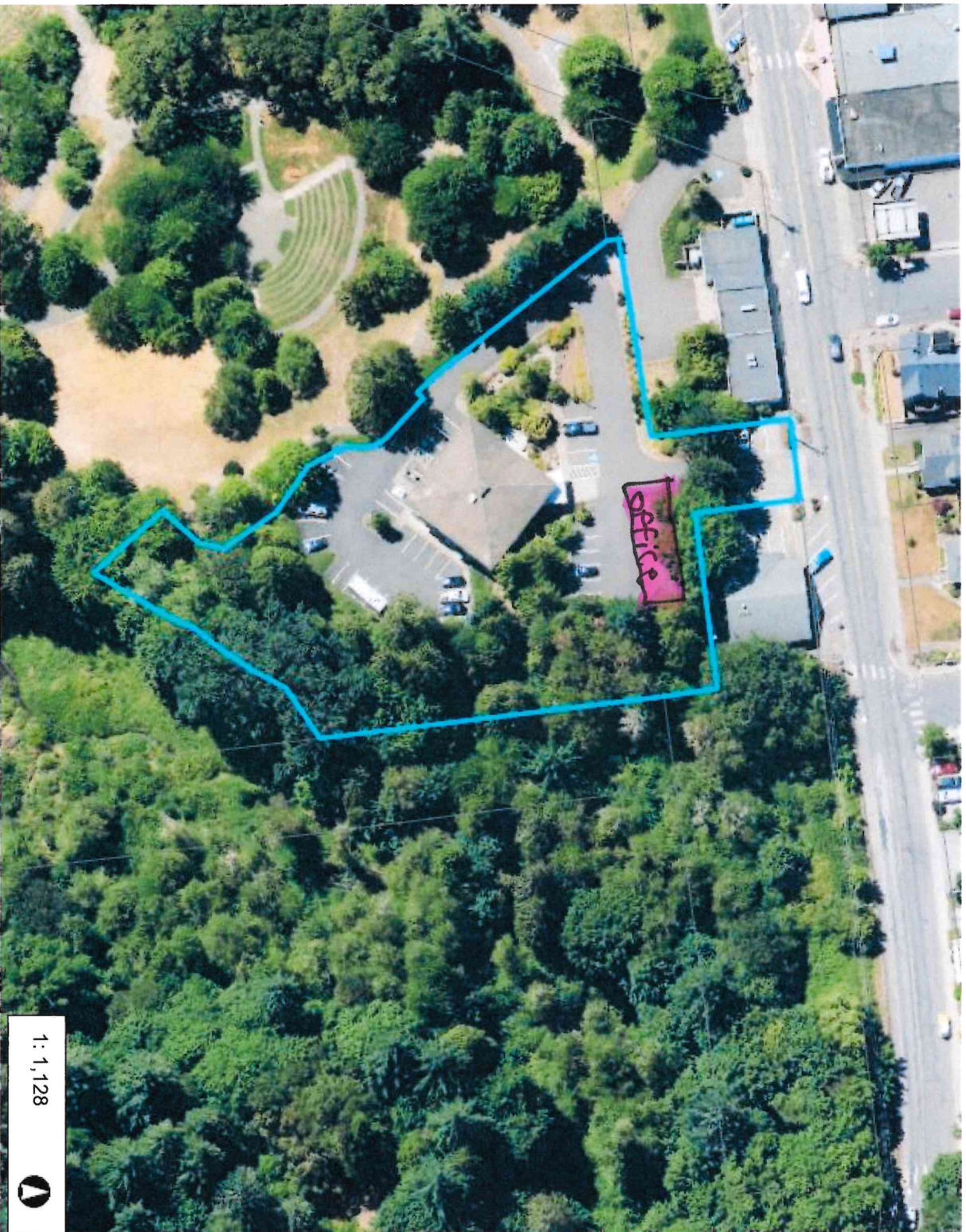
414 CEDAR AV
FIRE STATION
(RIO. 131748)

LA CENTER
CONNECTION
(RIO. 198652)

LAST FRONTIER
(RIO. 119128)

UR 2011-017





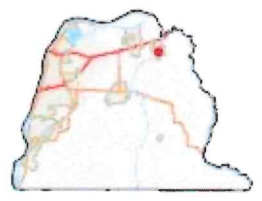
188.0 0 94.00 188.0 Feet

WGS, 1984 Web Mercator Auxiliary Sphere
Clark County, WA, GIS - <http://gis.clark.wa.gov>

1 : 1,128



This map was generated by Clark County's "MapOnline" website. Clark County does not warrant the accuracy, reliability or timeliness of any information on this map, and shall not be held liable for losses caused by using this information. Taxlot (i.e., parcel) boundaries cannot be used to determine the location of property lines on the ground.



Legend

Taxlots

Existing Building

Change use from Garage to office.
Adding Kitchen + Restroom

Notes:

GARAGE TO OFFICE CONVERSION

LA CENTER, WASHINGTON

FEBRUARY 2025

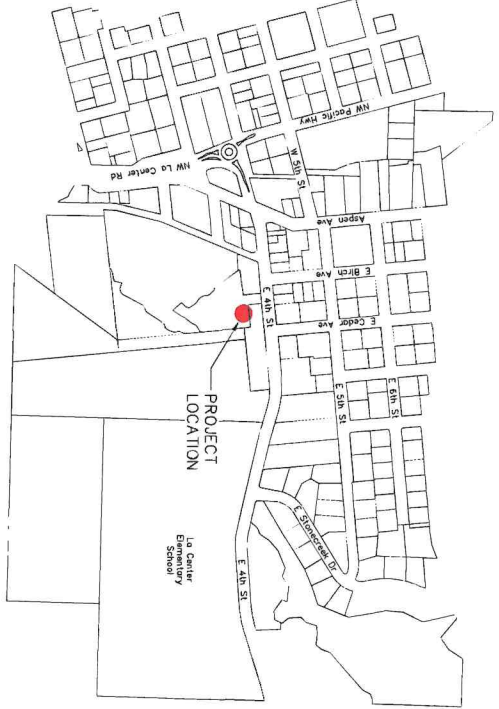
SHEET INDEX

- G1.01 COVER SHEET
- C1.01 EROSION CONTROL PLAN
- C2.01 UTILITY PLAN
- C3.01 SITE PLAN
- C4.01 EROSION CONTROL DETAILS
- C4.02 SITE DETAILS
- C4.03 SANITARY DETAILS
- D1.01 DEMOLITION PLAN
- D1.02 DEMOLITION ELEVATIONS
- D1.03 DEMOLITION SECTIONS
- B1.01 FLOOR PLAN
- B1.02 ELEVATIONS
- B1.03 SECTIONS
- S1.01 STRUCTURAL PLAN
- S2.01 STRUCTURAL ELEVATIONS
- S2.02 STRUCTURAL SECTIONS

PROJECT OWNER
 CITY OF LA CENTER
 CONTACT: TONY COOPER P.E.
 1000 1ST AVENUE
 LA CENTER, WA 98603
 TEL: 360-220-3888
 FAX: 360-220-3888
 EMAIL: TONY.COOPER@CITYOF.LACENTER.WA.US

CIVIL ENGINEER
 HARPER HOUF PETERSON RIGHELLIS INC.
 CONTACT: DALLIN WHEEL P.E.
 205 SPOKANE STREET, SUITE 200
 PORTLAND, OR 97202
 TEL: 503-221-1131
 EMAIL: DALLIN@HHP.COM

STRUCTURAL ENGINEER
 HARPER HOUF PETERSON RIGHELLIS INC.
 CONTACT: JEFF SCHMIDT P.E., S.E.
 205 SPOKANE STREET, SUITE 200
 PORTLAND, OR 97202
 TEL: 503-221-1131
 EMAIL: JEFF@HHP.COM



GENERAL NOTES:

ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF LA CENTER ENGINEERING STANDARDS AND SPECIFICATIONS. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF LA CENTER DEPARTMENT OF PUBLIC WORKS (360) 263-7965.

ALL MATERIALS AND WORK ARE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF LA CENTER DEPARTMENT OF PUBLIC WORKS (360) 263-7965.

THE CONTRACTOR SHALL COORDINATE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF LA CENTER PUBLIC WORKS DEPARTMENT PRIOR TO COMMENCING CONSTRUCTION.

ANY DEVIATIONS FROM THE PLANS WILL REQUIRE A WRITTEN REQUEST FROM THE CONTRACTOR AND APPROVAL BY THE PUBLIC WORKS DIRECTOR.

THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES BEFORE STARTING CONSTRUCTION.

CONTRACTOR SHALL KEEP AN APPROVED SET OF PLANS ON THE PROJECT SITE AT ALL TIMES.

ALL PORE BONDING MATERIAL SHALL MEET THE APPLICABLE REQUIREMENTS IN THE CITY OF LA CENTER STANDARDS. BEFORE ANY MAJOR MATERIAL IS USED, LABORATORY TEST RESULTS SHALL BE PROVIDED TO THE CITY INSPECTOR INDICATING THAT THE MATERIAL MEETS THE SPECIFICATIONS.

PRE BEDDING AND BACKFILL SHALL BE PER CITY OF LA CENTER STANDARDS. BACKFILL MATERIAL SHALL BE COMPACTED TO 95% MAXIMUM RELATIVE DENSITY.

SHOULD ANY ITEM OF ARCHAEOLOGICAL INTEREST BE FOUND DURING DEVELOPMENT, YOU ARE REQUIRED TO STOP WORK AND IMMEDIATELY NOTIFY THE CITY OF LA CENTER DEPARTMENT OF PUBLIC WORKS AND THE WASHINGTON DEPARTMENT OF ARCHAEOLOGY AND HISTORIC PRESERVATION AT (360) 725-4011 IMMEDIATELY. FAILURE TO DO SO COULD RESULT IN A FELONY CONVICTION.

AT THE END OF EACH WORK DAY THE CONTRACTOR SHALL CLEAN UP THE PROJECT AREA AND LEAVE IT IN A NEAT AND SECURED MANNER. UPON COMPLETION, THE CONTRACTOR SHALL LEAVE THE PROJECT AREA FREE OF DEBRIS AND UNUSED MATERIAL.

THE CONTRACTOR SHALL PRUNE ALL VEGETATION, AS NECESSARY, AWAY AND UP FROM THE WORK AS WELL AS ANY ROOT PROBLEMS AS DETERMINED BY THE ENGINEER. THE CONTRACTOR SHALL PROTECT ALL EXISTING LANDSCAPING THAT IS TO REMAIN.

THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO PROTECT ANY EXISTING CONCRETE CURBS AND SIDEWALKS TO REMAIN. ANY DAMAGE TO EXISTING CONCRETE CURBS AND SIDEWALKS SHALL BE REPAIRED AS DIRECTED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES. ALL EXISTING UTILITIES SHALL BE RELOCATED UTILITIES WILL BE RESET IN ACCORDANCE WITH THE APPROPRIATE AGENCY OR OWNER'S STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF EXISTING UTILITY LINES DAMAGED OR DESTROYED THROUGH REDUCING AND/OR INTERFERENCE.

CONTRACTOR SHALL REPORT ALL DAMAGES IMMEDIATELY TO THE PUBLIC WORKS DIRECTOR'S OFFICE OR CONTACT THE INSPECTOR ON THE DAY.

	DESIGNED: DJW
	DRAWN: DJW
CHECKED: BMH	
DATE: 2/15/2025	
DATE: _____	
NO. _____	
DESCRIPTION: _____	
R E V I S I O N S	
G1.01	
SHEET NO. CLC-05	

Harper Houf Peterson Righellis Inc.
 205 SPOKANE STREET, SUITE 200, PORTLAND, OR 97202
 PHONE: 503.221.1131 WWW.HHP.COM FAX: 503.221.1171

COVER
GARAGE TO OFFICE CONVERSION
 LA CENTER, WASHINGTON

