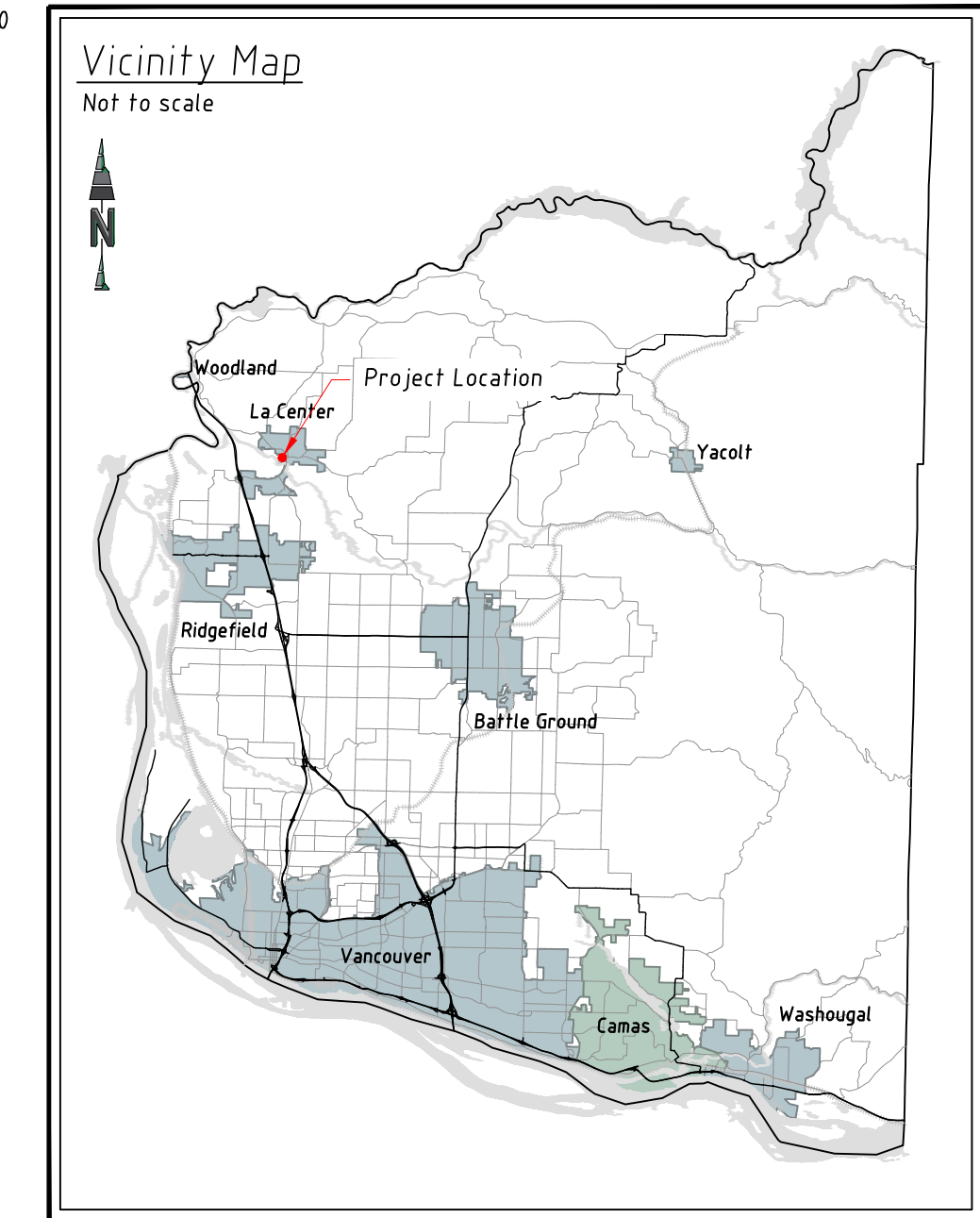
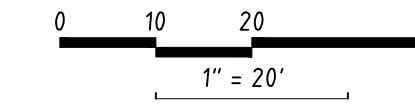


ADVANCED BUILDERS LA CENTER

Pre-App
Existing Conditions



PA01

Project: #####
Date: 11/23/2022
Drafted:
Designed: PCW
Page: ##### of #####

Northwest Utilities
1-800-425-5555
"It's the law"
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Revisions:

General Legend

[Symbol]	Project Boundary
[Symbol]	Adjacent Boundary
[Symbol]	Easement Line
[Symbol]	Centerline
[Symbol]	Setback Line
[Symbol]	Existing Building
[Symbol]	Asphalt
[Symbol]	Concrete
[Symbol]	Gravel
[Symbol]	GIS Contour

Contact

Applicant: -Same as Engineer-

Owner: ???
??? St.
??? WA, 98???

Contact: -Same as Engineer-

Engineer: Engineering Northwest, PLLC
6168 NE Hwy 99, Suite 100
Vancouver, WA 98685
Contact: Paul Williams, P.E.
Phone: (360) 931-3122
Email: PaulWilliamsPE@gmail.com

General Information and Land Use

Parcel SN: 63610-000
Address: No Address Available
La Center, WA 98629

Zone: RP (La Center Residential/Professional)
LCMC 18.14.5.040

Gross area: 0.23 AC (10,004+ SF)
R/W area: 0.00 AC (100,000+ SF)
Net area: 0.23 AC (10,004+ SF)
Max density: 4 du x (???) du = 14 du/AC x .23 AC
Min density: 4 du x (???) du = 8 du/AC x .23 AC

The following critical areas are not located within 100 feet of site: water courses, designated floodplain, water bodies or known wetland, and/or historic resources.

The following structures are not located within 100 feet of site: pedestrian or bicycle facilities, and/or wells.

The following transit systems are not located within 1/4 of a mile of the site: routes and/or stops

Development Standards (RP)

LCMC Table 18.14.0.030 per 18.14.5.040 (2)	8 du/AC	- 14 du/AC	Proposed
Density:	???	du/AC	???
Min avg. lot area:	1,400 SF		???
Max avg. lot area:	N/A		???
Min avg. lot width:	20 ft		???
Min avg. lot depth:	60 ft		???
Min setbacks			
Front	10 ft		10 ft
Garage	18 ft		18 ft
Street Side	10 ft		10 ft
Side	0 ft		5 ft
Rear	10 ft		10 ft
Max lot coverage:	60%		60%
Max building height:	35 ft		35 ft

Waste Collections
Solid waste and recyclable collection by individual bins placed along W E Avenue.

Parking
Minimum 2 off-street parking stalls provided on each lot.

Fire
Existing hydrant FH-2070 is located approximately 104 feet north-northwest along W E Street from the project site. County GIS data reports a tested rate of 2,?? GPM at ?? psi.

Disclaimer
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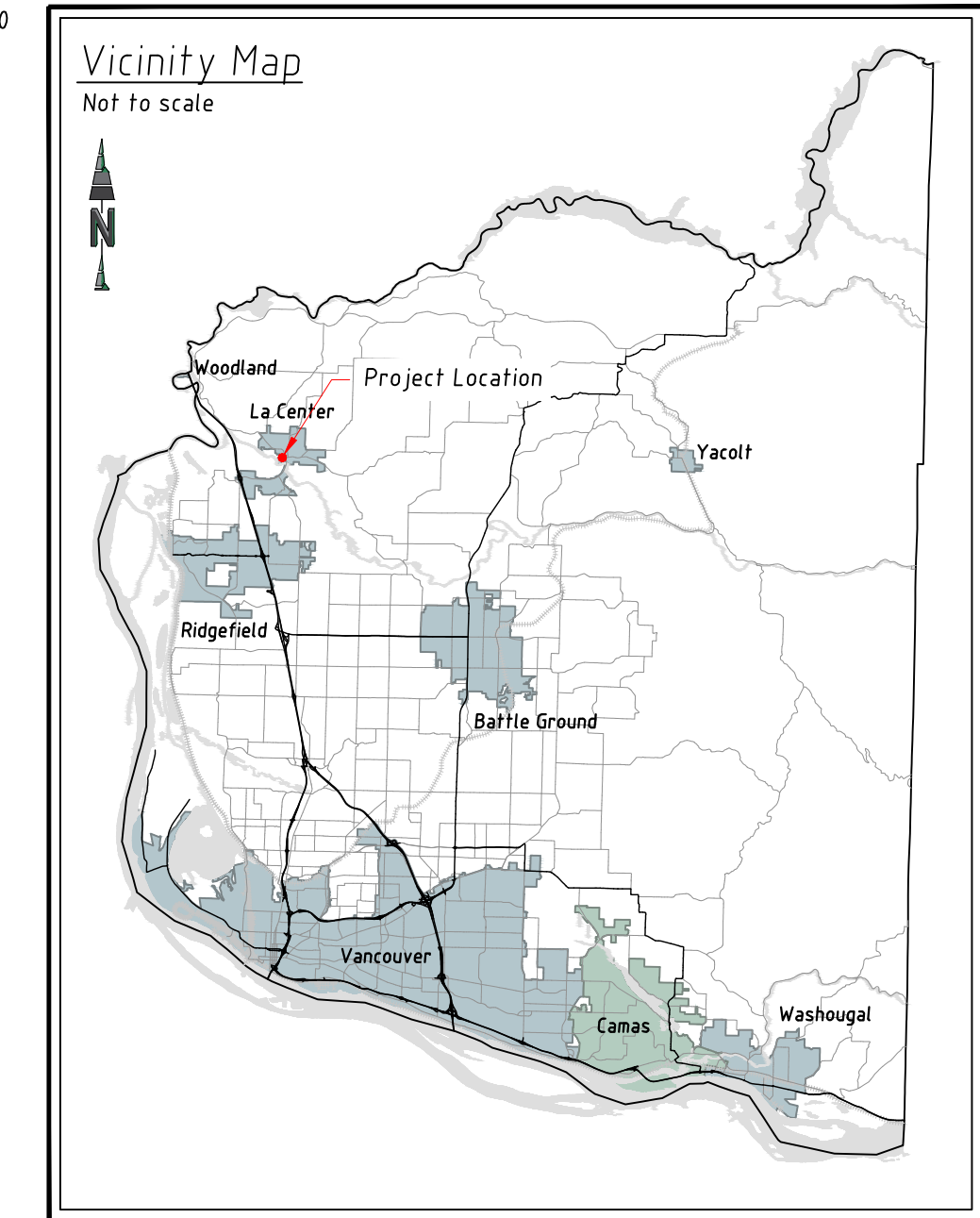
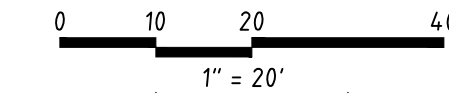
EXISTING CONDITION PLAN

BRITTANY HAPPY HOMES



ENGINEERING NORTHWEST
CONSULTING ENGINEERS & PLANNERS
6168 NW HWY 99 STE 100, VANCOUVER 98665
(360) 931-3122

ADVANCED BUILDERS LA CENTER



PA02

Project: #####
 Date: 11/23/2022
 Drafted:
 Designed: PCW
 Page: ##### of #####

Northwest Utilities
1-800-425-5555
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Revisions:



General Legend

- Project Boundary
- Adjacent Boundary
- Easement Line
- Centerline
- Setback Line
- Existing Building
- Asphalt
- Concrete
- Gravel
- GIS Contour

Contact

Applicant: -Same as Engineer-
 Owner: Advanced Pro Builders - Luis, J.
 advancedprobuilders1@icloud.com
 303 NE Tomahawk Island Drive, Suite 3
 Portland OR, 97217
 Contact: -Same as Engineer-
 Engineer: Engineering Northwest, PLLC
 6168 NE Hwy 99, Suite 100
 Vancouver, WA 98685
 Contact: Paul Williams, P.E.
 Phone: (360) 931-3122
 Email: PaulWilliamsPE@gmail.com

General Information and Land Use

Parcel SN: 63620-000
 Address: No Address Available.
 La Center, WA 98629
 Zone: RP (La Center Residential/Professional)
 LCMC 18.145.040
 Gross area: 0.23 AC (10,004+ SF)
 R/W area: 0.00 AC (00,000+ SF)
 Net area: 0.23 AC (10,004+ SF)
 Max density: 4 du x (???) du = 14 du/AC x .23 AC
 Min density: 4 du x (???) du = 8 du/AC x .23 AC

The following critical areas are not located within 100 feet of site: water courses, designated floodplain, water bodies or known wetland, and/or historic resources.

The following structures are not located within 100 feet of site: pedestrian or bicycle facilities, and/or wells.

The following transit systems are not located within 1/4 of a mile of the site: routes and/or stops

Development Standards (RP)

LCMC Table 18.140.030 per 18.145.040 (2)	Proposed
Density: 8 du/AC - 14 du/AC	?? du/AC
Min avg. lot area: 1,400 SF	?,?? sf
Max avg. lot area: N/A	?,?? sf
Min avg. lot width: 20 ft	?? ft
Min avg. lot depth: 60 ft	?? ft
Min setbacks	
Front: 10 ft	10 ft
Garage: 18 ft	18 ft
Street Side: 10 ft	10 ft
Side: 0 ft	5 ft
Rear: 10 ft	10 ft
Max lot coverage: 60%	60%
Max building height: 35 ft	35 ft

Waste Collections

Solid waste and recyclable collection by individual bins placed along W E Avenue.

Parking

Minimum 2 off-street parking stalls provided on each lot.

Fire

Existing hydrant FH-2070 is located approximately 104 feet north-northwest along W E Street from the project site. County GIS data reports a tested rate of 2,?? GPM at ?? psi.

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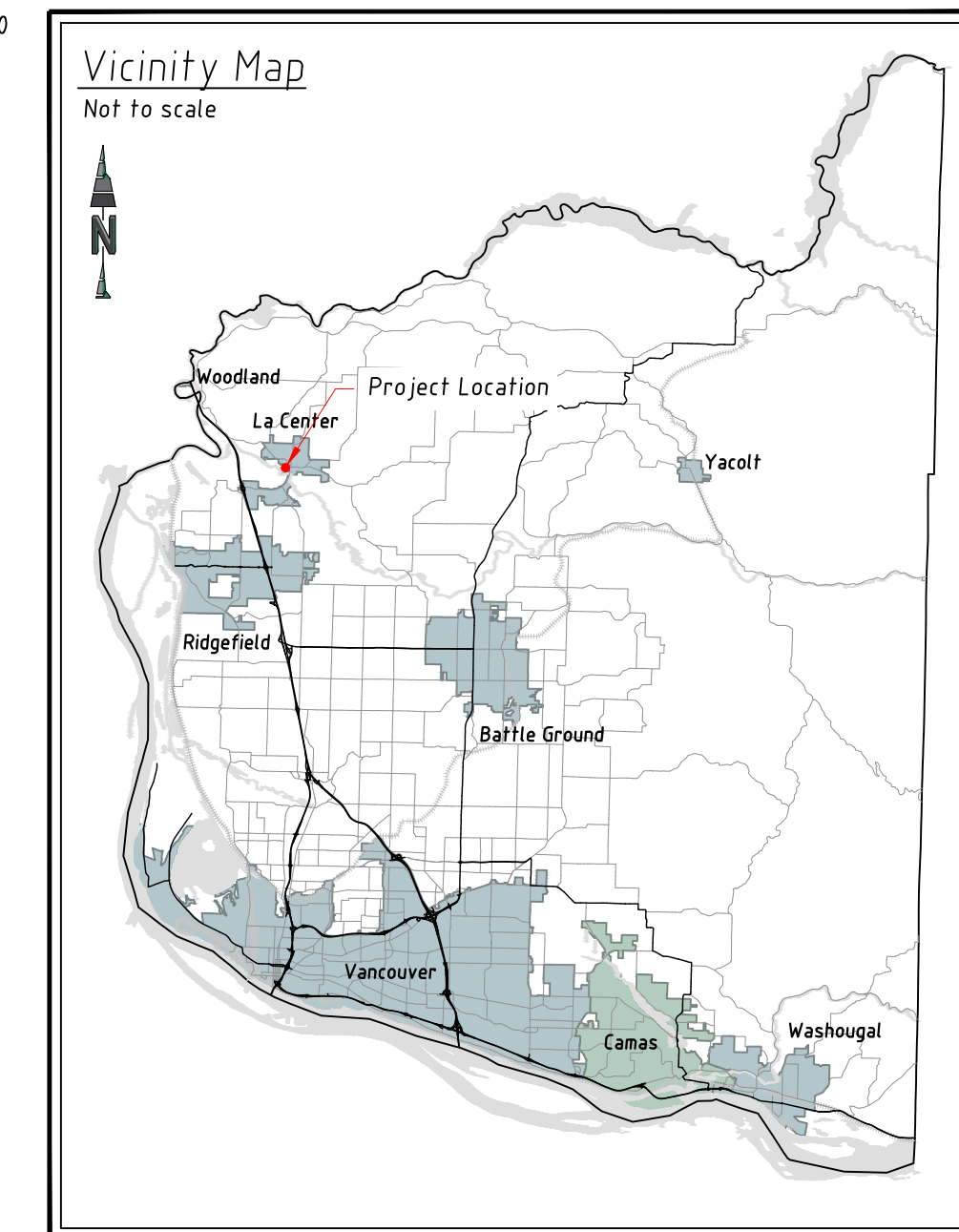
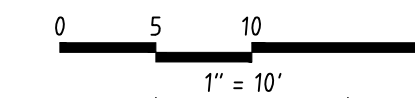
PROPOSED DEVELOPMENT PLAN
BRITTANY HAPPY HOMES



ENGINEERING NORTHWEST
 CONSULTING ENGINEERS & PLANNERS
 6168 NW HWY 99 STE 100, VANCOUVER 98665
 (360) 931-3122

ADVANCED BUILDERS LA CENTER

Pre-App
Proposed Plan



PA03

Project: #####
Date: 11/23/2022
Drafted:
Designed: PCW
Page: ##### of #####

Northwest Utilities
1-800-425-5555
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Revisions:



General Legend

--- (dashed)	Project Boundary
--- (dash-dot)	Adjacent Boundary
--- (dotted)	Easement Line
--- (solid)	Centerline
--- (long-dash)	Setback Line
--- (short-dash)	Existing Building
--- (diagonal lines)	Asphalt
--- (cross-hatch)	Concrete
--- (stippled)	Gravel
--- (contour)	GIS Contour

Contact

Applicant: -Same as Engineer-

Owner: Advanced Pro Builders - Luis, J.
advancedprobuilders1@icloud.com
303 NE Tomahawk Island Drive, Suite 3
Portland OR, 97217

Contact: -Same as Engineer-

Engineer: Engineering Northwest, PLLC
6168 NE Hwy 99, Suite 100
Vancouver, WA 98685
Contact: Paul Williams, P.E.
Phone: (360) 931-3122
Email: PaulWilliamsPE@gmail.com

General Information and Land Use

Parcel SN:	63620-000
Address:	No Address Available. La Center, WA 98629
Zone:	RP (La Center Residential/Professional) LCMC 18.145.040
Gross area:	0.23 AC (10,004+ SF)
R/W area:	0.00 AC (00,000+ SF)
Net area:	0.23 AC (10,004+ SF)
Max density:	4 du - (?? ?? du) = 14 du/AC x .23 AC
Min density:	4 du - (?? ?? du) = 8 du/AC x .23 AC

The following critical areas are not located within 100 feet of site: water courses, designated floodplain, water bodies or known wetland, and/or historic resources.

The following structures are not located within 100 feet of site: pedestrian or bicycle facilities, and/or wells.

The following transit systems are not located within 1/4 of a mile of the site: routes and/or stops

Development Standards (RP)

LCMC Table 18.140.030 per 18.145.040 (2)	Proposed
Density:	8 du/AC - 14 du/AC
Min avg. lot area:	1,400 SF
Max avg. lot area:	N/A
Min avg. lot width:	20 ft
Min avg. lot depth:	60 ft
Min setbacks:	
Front	10 ft
Garage	18 ft
Street Side	10 ft
Side	0 ft
Rear	10 ft
Max lot coverage:	60%
Max building height:	35 ft

Waste Collections
Solid waste and recyclable collection by individual bins placed along W E Avenue.

Parking
Minimum 2 off-street parking stalls provided on each lot.

Fire
Existing hydrant FH-2070 is located approximately 104 feet north-northwest along W E Street from the project site. County GIS data reports a tested rate of 2,??? GPM at ?? psi.

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TOTAL HARD SURFACE AREA

Roof Area =	4,275 Sq.Ft.
Driveway Area =	1,495 Sq.Ft.
Public Sidewalk Area =	740 Sq.Ft.
Public AC Area =	2,755 Sq.Ft.
Total	9,265 Sq.Ft.

Existing Public Storm Catch basin

PROPOSED GRADE PLAN
BRITTANY HAPPY HOMES

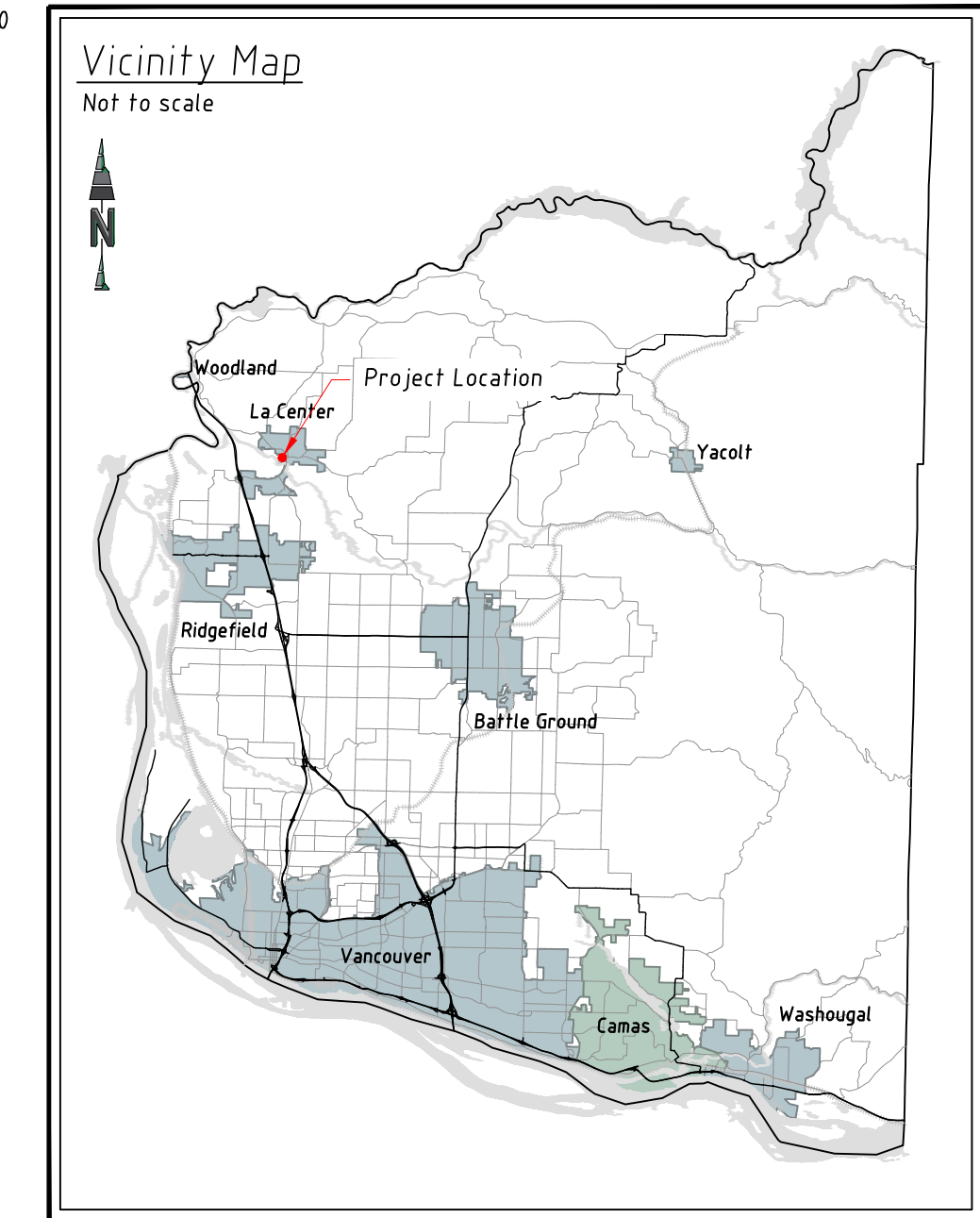
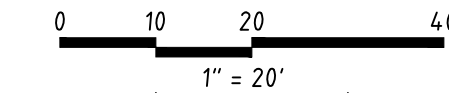


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 6168 NW HWY 99 STE 100, VANCOUVER 98665
 (360) 931-3122

ADVANCED BUILDERS LA CENTER

Pre-App
Proposed Plan

Landscaping requirement 15 percent of the site area.
Project area 10,004 square feet. Thus $10,004 \times 15\% = 1,500$ square feet.
The project proposes 1,720 square feet.

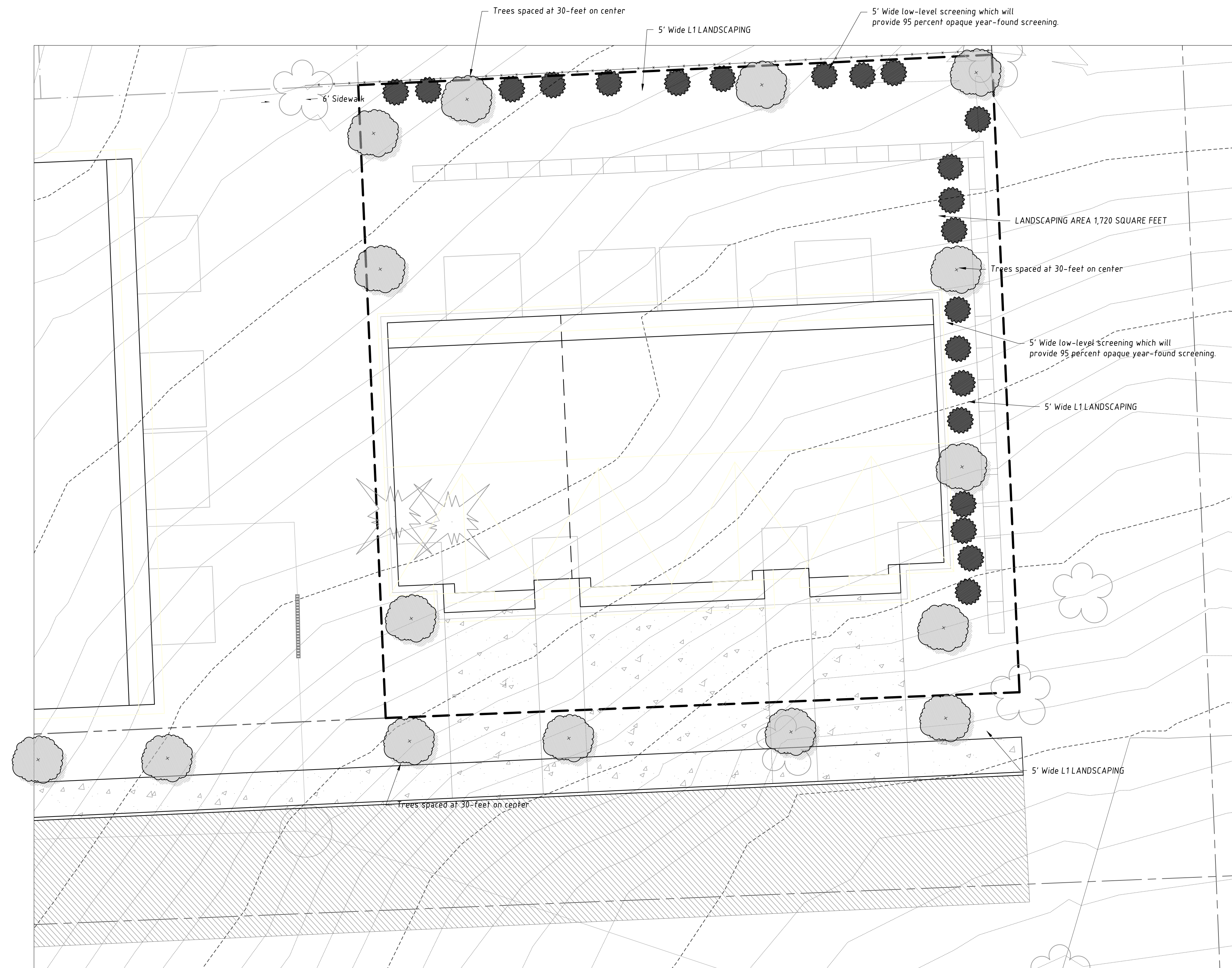


PA04

Project: #####
Date: 11/23/2022
Drafted:
Designed: PCW
Page: ##### of #####

Northwest Utilities
1-800-425-5555
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Revisions:



General Legend

- Project Boundary
- Adjacent Boundary
- Easement Line
- Centerline
- Setback Line
- Existing Building
- Asphalt
- Concrete
- Gravel
- GIS Contour

Contact

Applicant: -Same as Engineer-
Owner: Advanced Pro Builders - Luis, J.
advancedprobuilders1@icloud.com
303 NE Tomahawk Island Drive, Suite 3
Portland OR, 97217
Contact: -Same as Engineer-
Engineer: Engineering Northwest, PLLC
6168 NE Hwy 99, Suite 100
Vancouver, WA 98685
Contact: Paul Williams, P.E.
Phone: (360) 931-3122
Email: PaulWilliamsPE@gmail.com

General Information and Land Use

Parcel SN: 63620-000
Address: No Address Available.
La Center, WA 98629
Zone: RP (La Center Residential/Professional)
LCMC 18.145.040
Gross area: 0.23 AC (10,004 SF)
R/W area: 0.00 AC (00,000 SF)
Net area: 0.23 AC (10,004 SF)
Max density: 4 du x (???) du = 14 du/AC x .23 AC
Min density: 4 du x (???) du = 8 du/AC x .23 AC

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Development Standards (RP)

LCMC Table 18.140.030 per 18.145.040 (2)	Proposed
Density: 8 du/AC - 14 du/AC	?? du/AC
Min avg. lot area: 1,400 SF	?,?? sf
Max avg. lot area: N/A	?,?? sf
Min avg. lot width: 20 ft	?? ft
Min avg. lot depth: 60 ft	?? ft
Min setbacks	
Front	10 ft
Garage	18 ft
Street Side	10 ft
Side	0 ft
Rear	10 ft
Max lot coverage: 60%	60%
Max building height: 35 ft	35 ft

Waste Collections

Solid waste and recyclable collection by individual bins placed along W E Avenue.

Parking

Minimum 2 off-street parking stalls provided on each lot.

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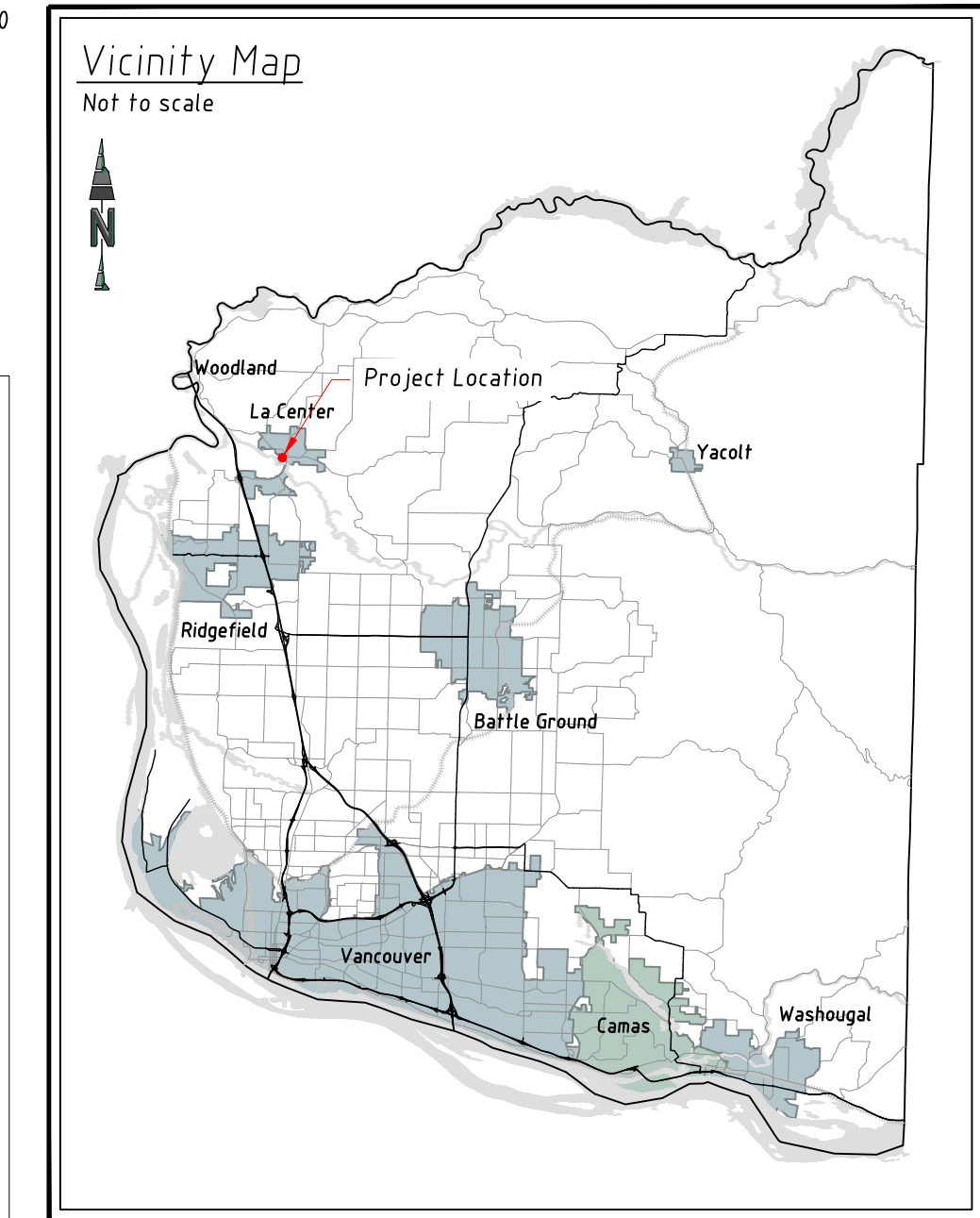
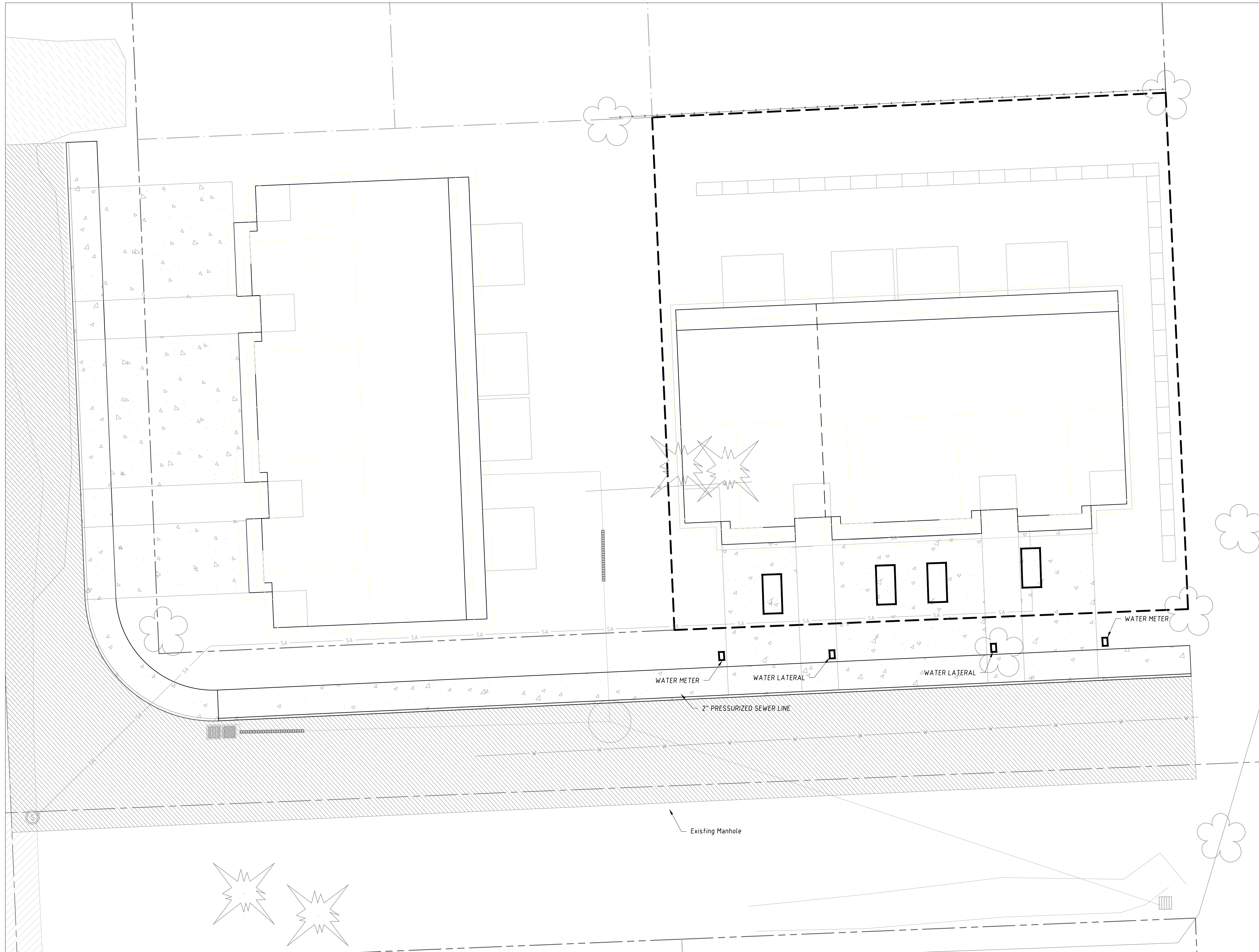
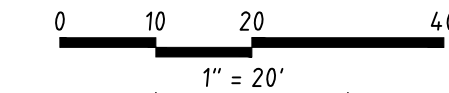
PROPOSED LANDSCAPE PLAN
BRITTANY HAPPY HOMES



ENGINEERING NORTHWEST
 CONSULTING ENGINEERS & PLANNERS
 6168 NW HWY 99 STE 100, VANCOUVER 98665
 (360) 931-3122

ADVANCED BUILDERS LA CENTER

Pre-App
Proposed Plan



PA05

Project: #####
Date: 11/23/2022
Drafted:
Designed: PCW
Page: ##### of #####

Northwest Utilities
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Revisions:

General Legend

- Project Boundary
- Adjacent Boundary
- Easement Line
- Centerline
- Setback Line
- Existing Building
- Asphalt
- Concrete
- Gravel
- GIS Contour

Contact

Applicant: -Same as Engineer-
Owner: Advanced Pro Builders - Luis, J.
advancedprobuilders1@icloud.com
303 NE Tomahawk Island Drive, Suite 3
Portland OR, 97217
Contact: -Same as Engineer-
Engineer: Engineering Northwest, PLLC
6168 NE Hwy 99, Suite 100
Vancouver, WA 98685
Contact: Paul Williams, P.E.
Phone: (360) 931-3122
Email: PaulWilliamsPE@gmail.com

General Information and Land Use

Parcel SN: 63620-000
Address: No Address Available.
La Center, WA 98629
Zone: RP (La Center Residential/Professional)
LCMC 18.145.040
Gross area: 0.23 AC (10,004+ SF)
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PROPOSED SEWER AND WATER PLAN
BRITTANY HAPPY HOMES



ENGINEERING NORTHWEST
 CONSULTING ENGINEERS & PLANNERS
 6168 NW HWY 99 STE 100, VANCOUVER 98665
 (360) 931-3122