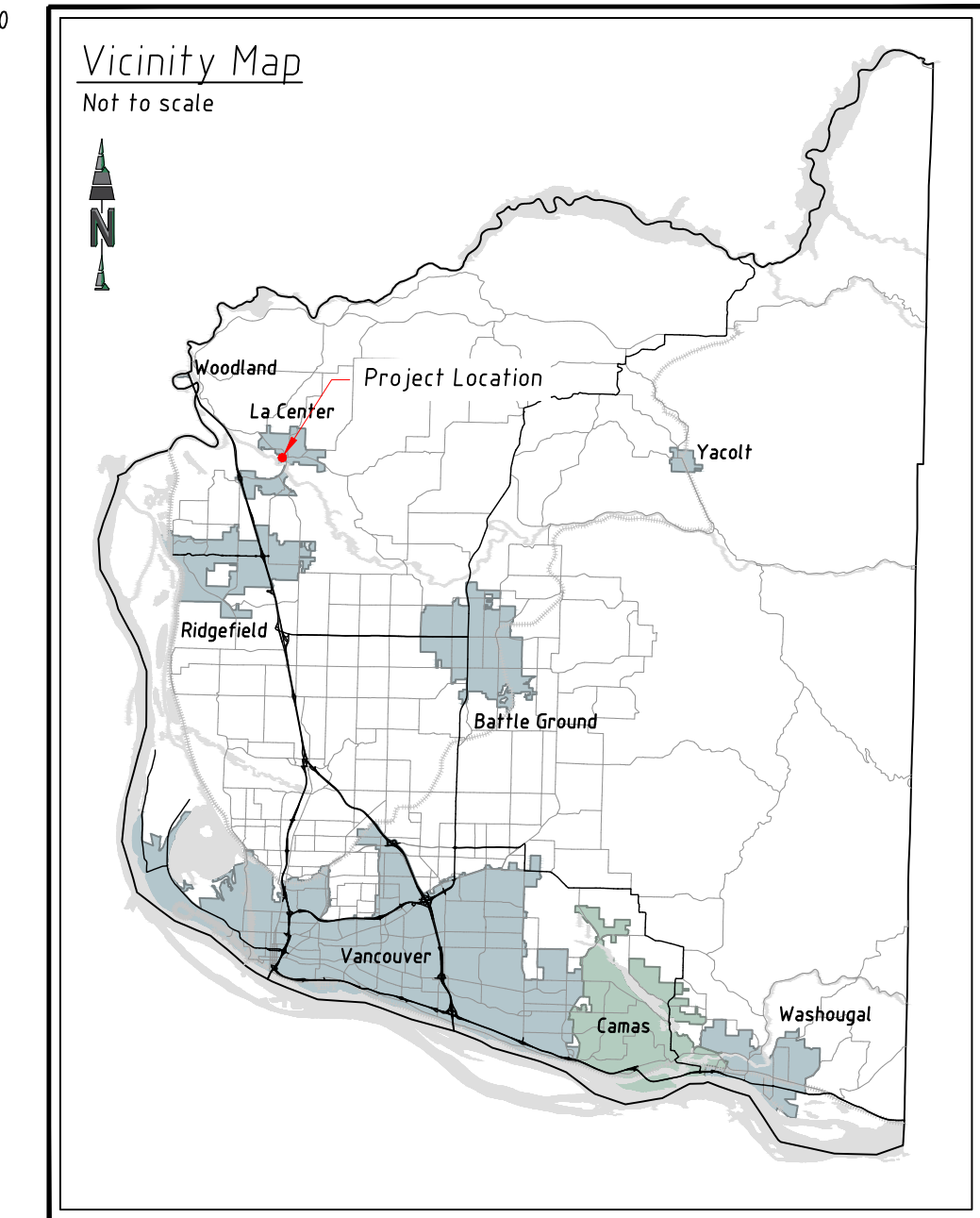
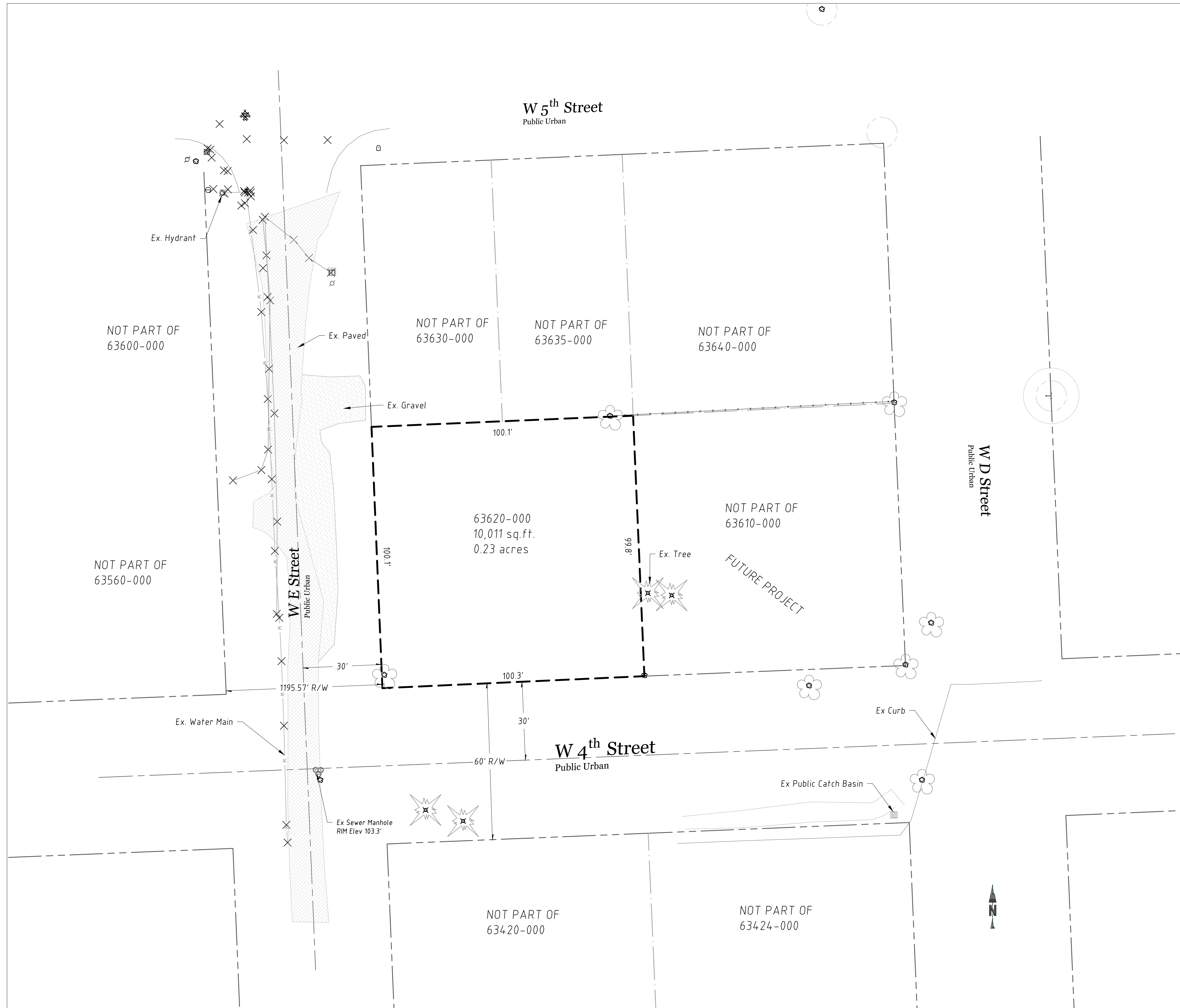
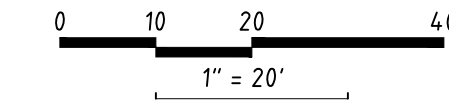


# ADVANCED BUILDERS LA CENTER

Pre-App  
Existing Conditions



**General Legend**

[Symbol]	Project Boundary
[Symbol]	Adjacent Boundary
[Symbol]	Easement Line
[Symbol]	Centerline
[Symbol]	Setback Line
[Symbol]	Existing Building
[Symbol]	Asphalt
[Symbol]	Concrete
[Symbol]	Gravel
[Symbol]	GIS Contour

**Contact**

Applicant: -Same as Engineer-

Owner: ???  
??? St.  
??? WA, 98???

Contact: -Same as Engineer-

Engineer: Engineering Northwest, PLLC  
6168 NE Hwy 99, Suite 100  
Vancouver, WA 98685  
Contact: Paul Williams, P.E.  
Phone: (360) 931-3122  
Email: PaulWilliamsPE@gmail.com

**General Information and Land Use**

Parcel SN: 63610-000  
Address: No Address Available  
La Center, WA 98629

Zone: RP (La Center Residential/Professional)  
LCMC 18.14.5.040

Gross area: 0.23 AC (10,004+ SF)  
R/W area: 0.00 AC (00,000+ SF)  
Net area: 0.23 AC (10,004+ SF)  
Max density: 4 du x (???.?? du) = 14 du/AC x .23 AC  
Min density: 4 du x (???.?? du) = 8 du/AC x .23 AC

The following critical areas are not located within 100 feet of site: water courses, designated floodplain, water bodies or known wetland, and/or historic resources.

The following structures are not located within 100 feet of site: pedestrian or bicycle facilities, and/or wells.

The following transit systems are not located within 1/4 of a mile of the site: routes and/or stops

**Development Standards (RP)**

LCMC Table 18.14.0.030 per 18.14.5.040 (2)	Proposed
Density: 8 du/AC - 14 du/AC	?? du/AC
Min avg. lot area: 1,400 SF	?,?? sf
Max avg. lot area: N/A	?,?? sf
Min avg. lot width: 20 ft	?? ft
Min avg. lot depth: 60 ft	?? ft
Min setbacks	
Front	10 ft
Garage	18 ft
Street Side	10 ft
Side	0 ft
Rear	10 ft
Max lot coverage: 60%	60%
Max building height: 35 ft	35 ft

**Waste Collections**  
Solid waste and recyclable collection by individual bins placed along W E Avenue.

**Parking**  
Minimum 2 off-street parking stalls provided on each lot.

**Fire**  
Existing hydrant FH-2070 is located approximately 104 feet north-northwest along W E Street from the project site. County GIS data reports a tested rate of ?,?? GPM at ?? psi.

**Disclaimer**  
This intent of these plans is to provide land use planning information for a pre-application conference. Information shown hereon is taken as available from public records. This is not a boundary survey. This is not a topographic survey. Utilities shown hereon are approximate and taken from County GIS.

## PA01

Project: #####  
Date: 11/17/2022  
Drafted:  
Designed: PCW  
Page: ##### of #####

**Northwest Utilities**  
1-800-425-5555  
"It's the law"  
Call 48 hours before you dig.

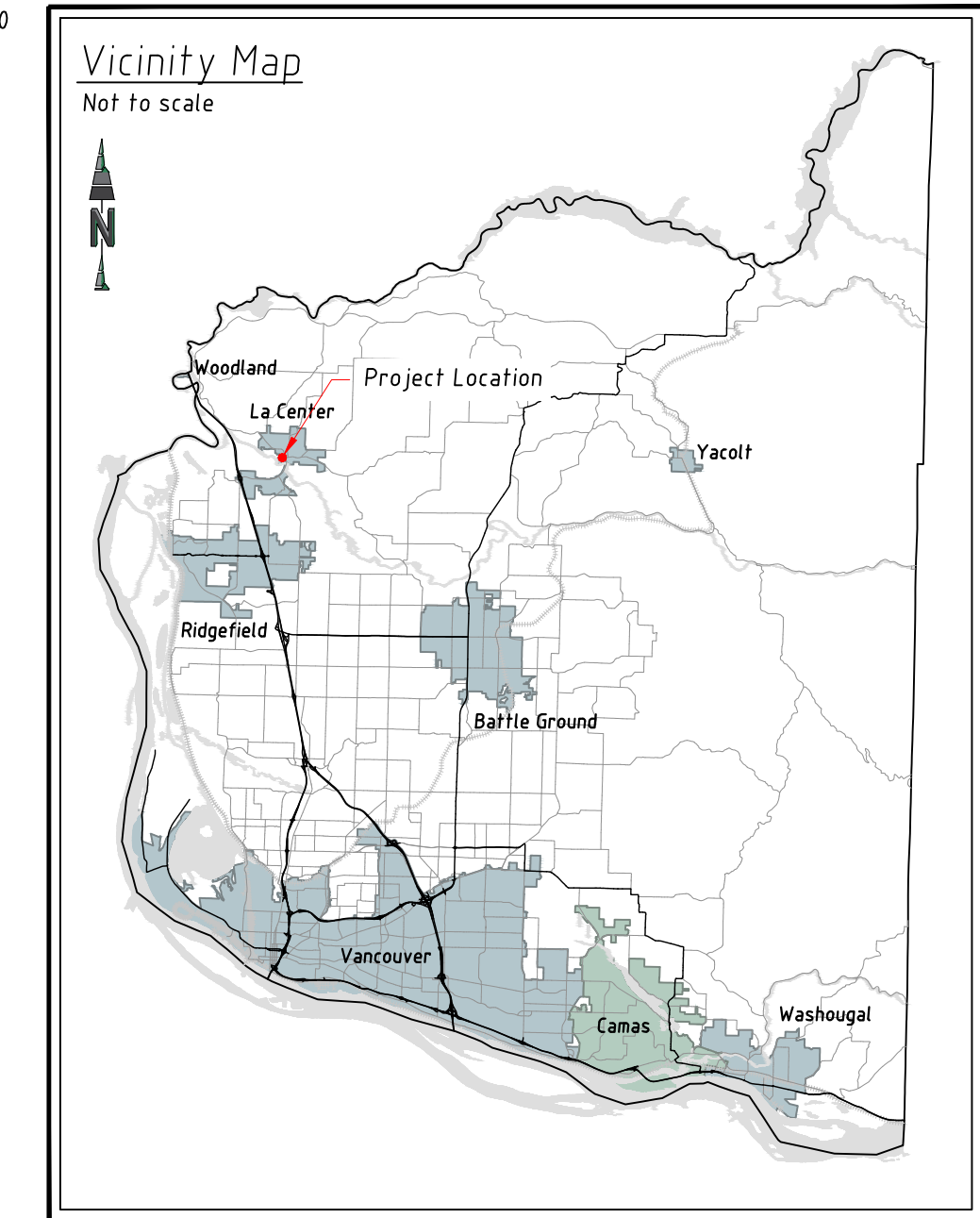
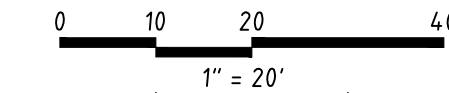
Revisions:

EXISTING CONDITION PLAN  
**ADVANCED BUILDERS FOUR PLEX**



**ENGINEERING NORTHWEST**  
CONSULTING ENGINEERS & PLANNERS  
6168 NW HWY 99 STE 100, VANCOUVER 98665  
(360) 931-3122

# ADVANCED BUILDERS LA CENTER



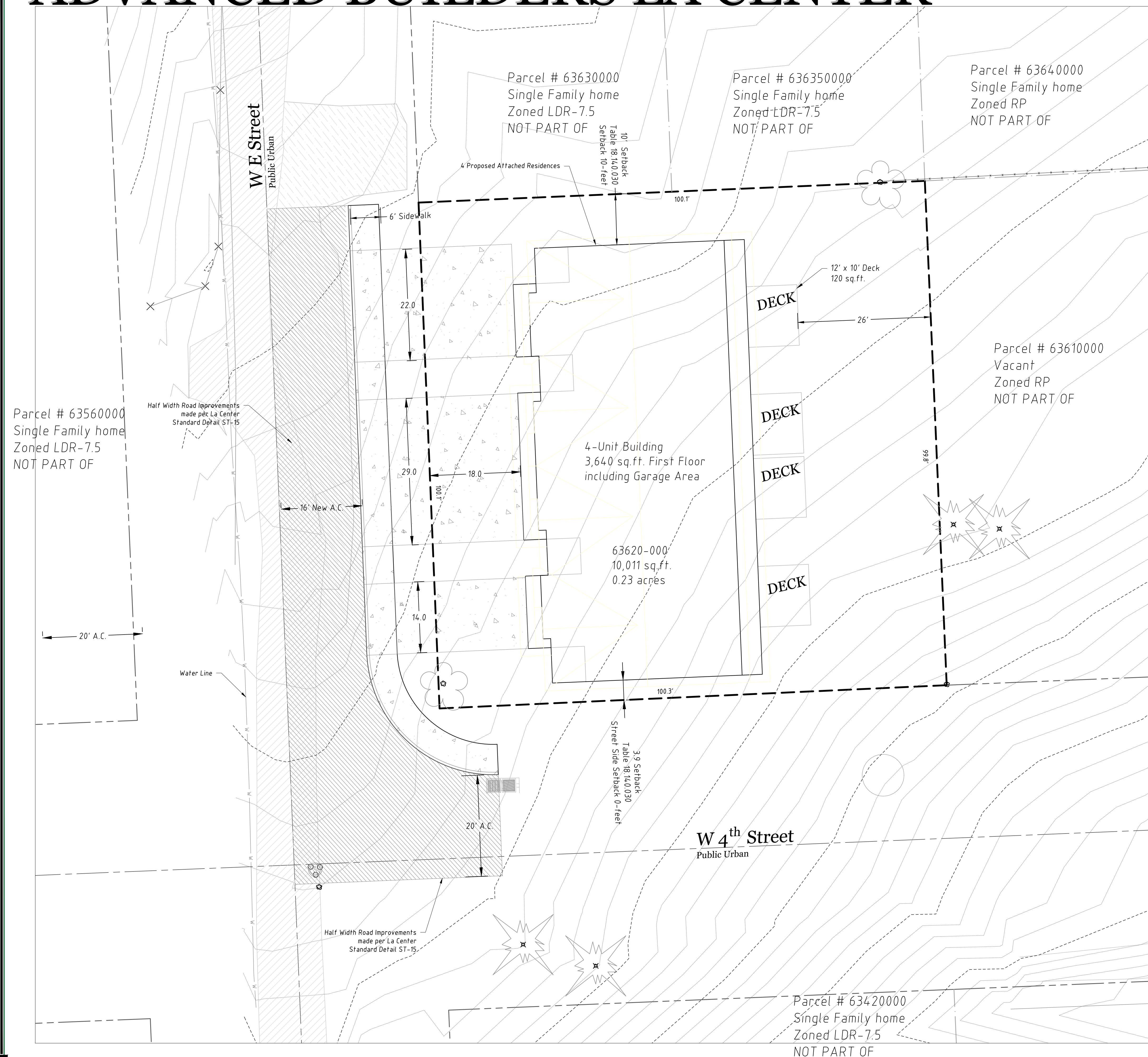
## PA02

Project: #####  
 Date: 11/17/2022  
 Drafted:  
 Designed: PCW  
 Page: ##### of #####

**Northwest Utilities**  
**1-800-425-5555**  
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Revisions:

**PROPOSED DEVELOPMENT PLAN**  
**ADVANCED BUILDERS FOUR PLEX**



### General Legend

- Project Boundary
- Adjacent Boundary
- Easement Line
- Centerline
- Setback Line
- Existing Building
- Asphalt
- Concrete
- Gravel
- GIS Contour

### Contact

Applicant: -Same as Engineer-  
 Owner: Advanced Pro Builders - Luis, J.  
 advancedprobuilders1@icloud.com  
 303 NE Tomahawk Island Drive, Suite 3  
 Portland OR, 97217  
 Contact: -Same as Engineer-  
 Engineer: Engineering Northwest, PLLC  
 6168 NE Hwy 99, Suite 100  
 Vancouver, WA 98685  
 Contact: Paul Williams, P.E.  
 Phone: (360) 931-3122  
 Email: PaulWilliamsPE@gmail.com

### General Information and Land Use

Parcel SN: 63620-000  
 Address: No Address Available.  
 La Center, WA 98629  
 Zone: RP (La Center Residential/Professional)  
 LCMC 18.145.040  
 Gross area: 0.23 AC (10,004+ SF)  
 R/W area: 0.00 AC (00,000+ SF)  
 Net area: 0.23 AC (10,004+ SF)  
 Max density: 4 du - (?? ?? du) = 14 du/AC x .23 AC  
 Min density: 4 du - (?? ?? du) = 8 du/AC x .23 AC

The following critical areas are not located within 100 feet of site: water courses, designated floodplain, water bodies or known wetland, and/or historic resources.

The following structures are not located within 100 feet of site: pedestrian or bicycle facilities, and/or wells.

The following transit systems are not located within 1/4 of a mile of the site: routes and/or stops

### Development Standards (RP)

LCMC Table 18.145.040 (2)	Proposed
Density: 8 du/AC - 14 du/AC	?? du/AC
Min avg. lot area: 1,400 SF	?,?? sf
Max avg. lot area: N/A	?,?? sf
Min avg. lot width: 20 ft	?? ft
Min avg. lot depth: 60 ft	?? ft
Min setbacks	
Front	10 ft
Garage	18 ft
Street Side	10 ft
Side	0 ft
Rear	10 ft
Max lot coverage: 60%	60%
Max building height: 35 ft	35 ft

### Waste Collections

Solid waste and recyclable collection by individual bins placed along W E Avenue.

### Parking

Minimum 2 off-street parking stalls provided on each lot.

### Fire

Existing hydrant FH-2070 is located approximately 104 feet north-northwest along W E Street from the project site. County GIS data reports a tested rate of 2,?? GPM at ?? psi.

### Disclaimer

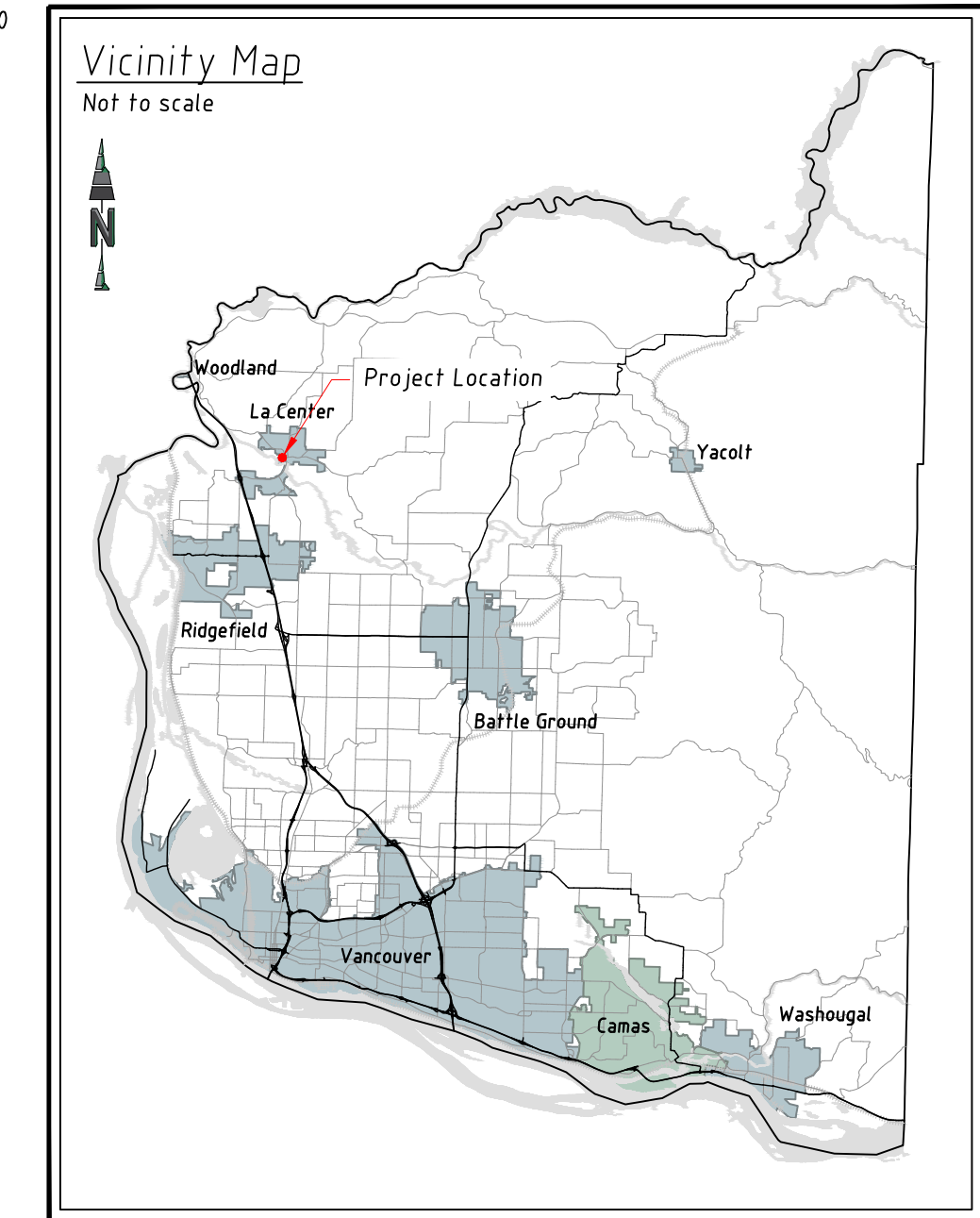
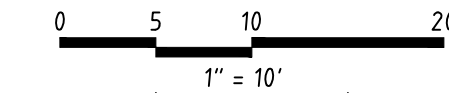
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 6168 NW HWY 99 STE 100, VANCOUVER 98665  
 (360) 931-3122

# ADVANCED BUILDERS LA CENTER

Pre-App  
Proposed Plan



## PA03

Project: #####  
Date: 11/17/2022  
Drafted:  
Designed: PCW  
Page: ##### of #####

**Northwest Utilities**  
**1-800-425-5555**  
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Revisions:



### General Legend

- Project Boundary
- Adjacent Boundary
- Easement Line
- Centerline
- Setback Line
- Existing Building
- Asphalt
- Concrete
- Gravel
- GIS Contour

### Contact

Applicant: -Same as Engineer-  
Owner: Advanced Pro Builders - Luis, J.  
advancedprobuilders1@icloud.com  
303 NE Tomahawk Island Drive, Suite 3  
Portland OR, 97217  
Contact: -Same as Engineer-  
Engineer: Engineering Northwest, PLLC  
6168 NE Hwy 99, Suite 100  
Vancouver, WA 98685  
Contact: Paul Williams, P.E.  
Phone: (360) 931-3122  
Email: PaulWilliamsPE@gmail.com

### General Information and Land Use

Parcel SN: 63620-000  
Address: No Address Available.  
La Center, WA 98629  
Zone: RP (La Center Residential/Professional)  
LCMC 18.145.040  
Gross area: 0.23 AC (10,004+ SF)  
R/W area: 0.00 AC (00,000+ SF)  
Net area: 0.23 AC (10,004+ SF)  
Max density: 4 du x (???) du = 14 du/AC x .23 AC  
Min density: 4 du x (???) du = 8 du/AC x .23 AC

The following critical areas are not located within 100 feet of site: water courses, designated floodplain, water bodies or known wetland, and/or historic resources.

The following structures are not located within 100 feet of site: pedestrian or bicycle facilities, and/or wells.

The following transit systems are not located within 1/4 of a mile of the site: routes and/or stops

### Development Standards (RP)

LCMC Table 18.140.030 per 18.145.040 (2)	Proposed
Density: 8 du/AC - 14 du/AC	?? du/AC
Min avg. lot area: 1,400 SF	?,?? sf
Max avg. lot area: N/A	?,?? sf
Min avg. lot width: 20 ft	?? ft
Min avg. lot depth: 60 ft	?? ft
Min setbacks	
Front	10 ft
Garage	18 ft
Street Side	10 ft
Side	0 ft
Rear	5 ft
Max lot coverage: 60%	60%
Max building height: 35 ft	35 ft

### Waste Collections

Solid waste and recyclable collection by individual bins placed along W E Avenue.

### Parking

Minimum 2 off-street parking stalls provided on each lot.

### Fire

Existing hydrant FH-2070 is located approximately 104 feet north-northwest along W E Street from the project site. County GIS data reports a tested rate of 2,?? GPM at ?? psi.

### Disclaimer

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**TOTAL HARD SURFACE AREA**

Roof Area =	4,275 Sq.Ft.
Driveway Area =	1,495 Sq.Ft.
Public Sidewalk Area =	740 Sq.Ft.
Public AC Area =	2,755 Sq.Ft.
Total	9,265 Sq.Ft.

**PROPOSED GRADE PLAN**  
**ADVANCED BUILDERS FOUR PLEX**

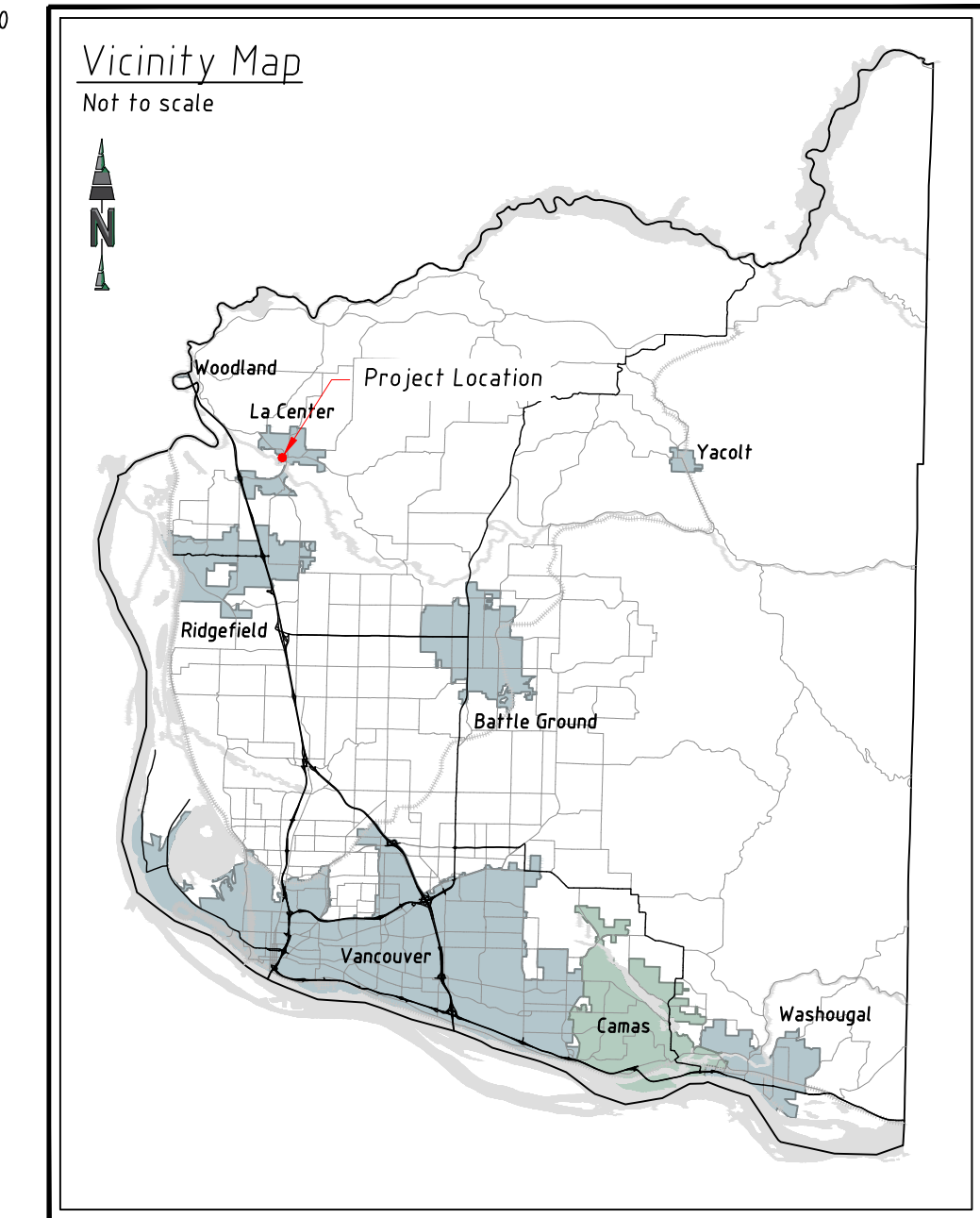
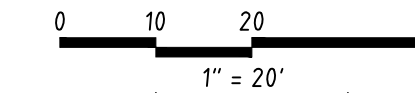


**ENGINEERING NORTHWEST**  
 CONSULTING ENGINEERS & PLANNERS  
 6168 NW HWY 99 STE 100, VANCOUVER 98665  
 (360) 931-3122

# ADVANCED BUILDERS LA CENTER

Pre-App  
Proposed Plan

Landscaping requirement 15 percent of the site area.  
Project area 10,004 square feet. Thus  $10,004 \times 15\% = 1,500$  square feet.  
The project proposes 1,720 square feet.

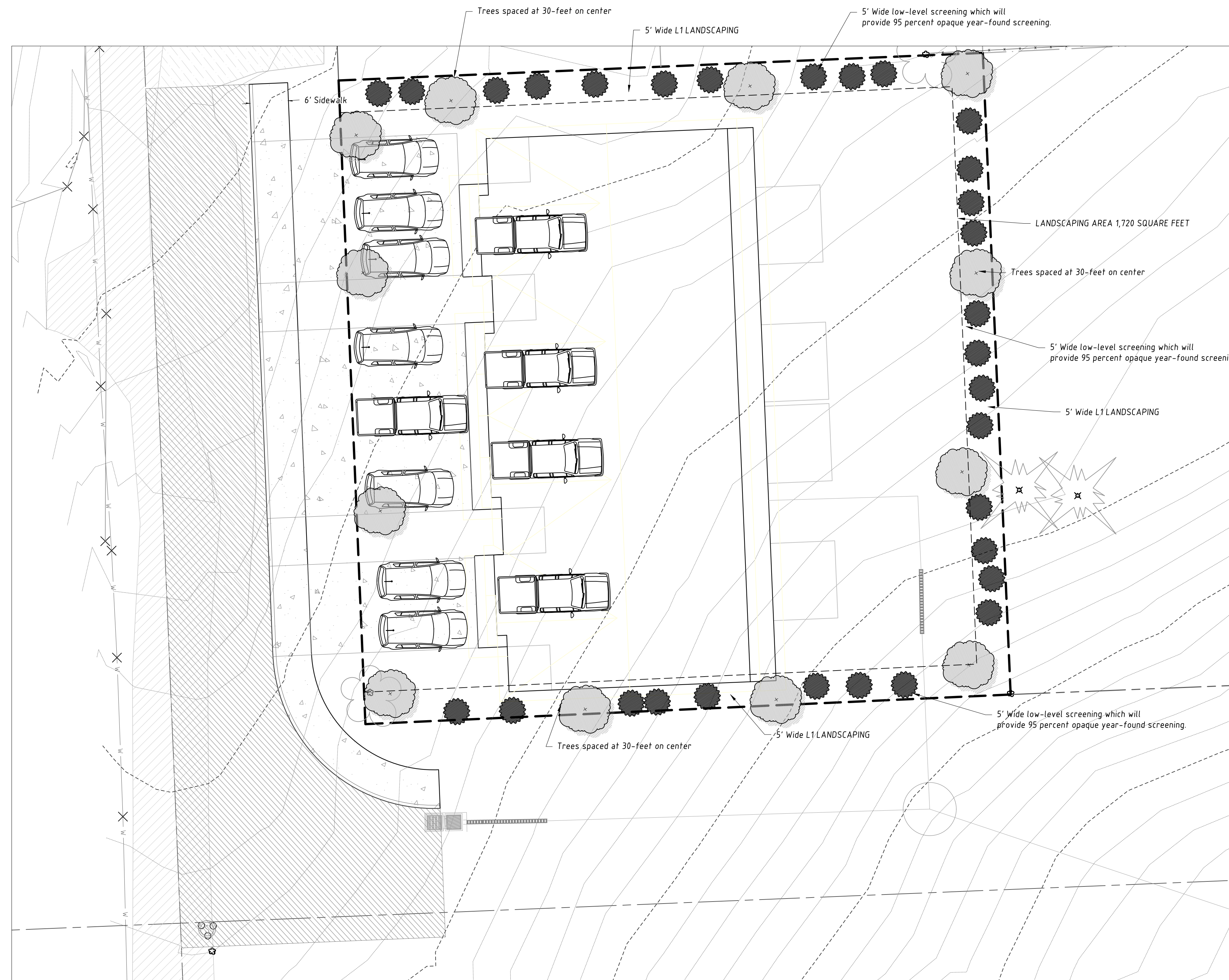


## PA04

Project: #####  
Date: 11/17/2022  
Drafted:  
Designed: PCW  
Page: ##### of #####

**Northwest Utilities**  
**1-800-425-5555**  
"It's the law"  
Call 48 hours before you dig.

Revisions:



### General Legend

- Project Boundary
- Adjacent Boundary
- Easement Line
- Centerline
- Setback Line
- Existing Building
- Asphalt
- Concrete
- Gravel
- GIS Contour

### Contact

Applicant: -Same as Engineer-  
Owner: Advanced Pro Builders - Luis, J.  
advancedprobuilders1@icloud.com  
303 NE Tomahawk Island Drive, Suite 3  
Portland OR, 97217  
Contact: -Same as Engineer-  
Engineer: Engineering Northwest, PLLC  
6168 NE Hwy 99, Suite 100  
Vancouver, WA 98685  
Contact: Paul Williams, P.E.  
Phone: (360) 931-3122  
Email: PaulWilliamsPE@gmail.com

### General Information and Land Use

Parcel SN: 63620-000  
Address: No Address Available  
La Center, WA 98629  
Zone: RP (La Center Residential/Professional)  
LCMC 18.145.040  
Gross area: 0.23 AC (10,004+ SF)  
R/W area: 0.00 AC (00,000+ SF)  
Net area: 0.23 AC (10,004+ SF)  
Max density: 4 du x (???) du = 14 du/AC x .23 AC  
Min density: 4 du x (???) du = 8 du/AC x .23 AC

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### Development Standards (RP)

LCMC Table 18.140.030 per 18.145.040 (2)	Proposed
Density: 8 du/AC - 14 du/AC	?? du/AC
Min avg. lot area: 1,400 SF	?,?? sf
Max avg. lot area: N/A	?,?? sf
Min avg. lot width: 20 ft	?? ft
Min avg. lot depth: 60 ft	?? ft
Min setbacks	
Front	10 ft
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Street Side	10 ft
Side	0 ft
Rear	10 ft
Max lot coverage: 60%	60%
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### Waste Collections

Solid waste and recyclable collection by individual bins placed along W E Avenue.

### Parking

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### Fire

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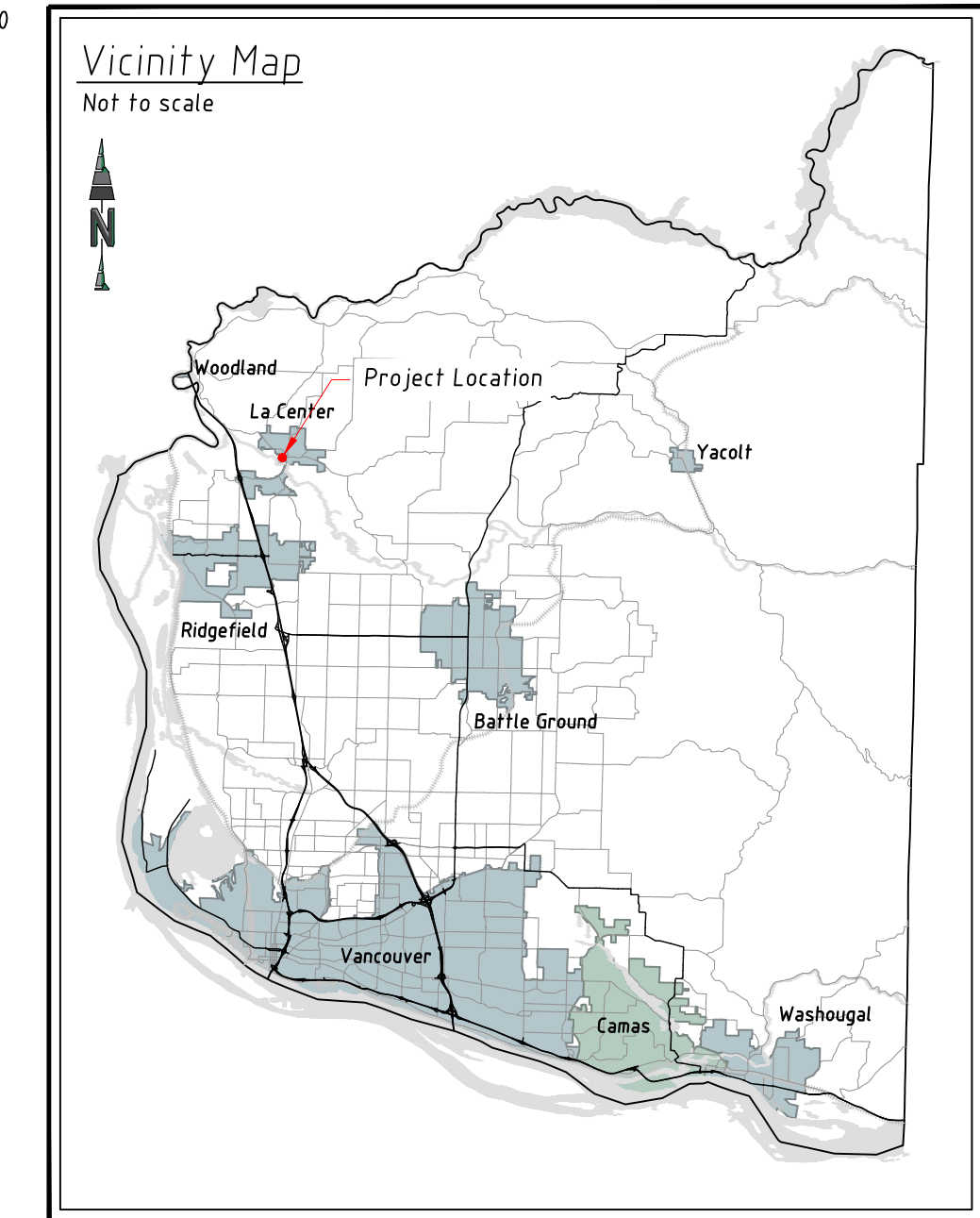
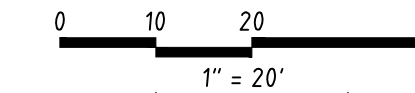
**PROPOSED LANDSCAPE PLAN**  
**ADVANCED BUILDERS FOUR PLEX**



**ENGINEERING NORTHWEST**  
 CONSULTING ENGINEERS & PLANNERS  
 6168 NW HWY 99 STE 100, VANCOUVER 98665  
 (360) 931-3122

# ADVANCED BUILDERS LA CENTER

Pre-App  
Proposed Plan



### General Legend

- Project Boundary
- Adjacent Boundary
- Easement Line
- Centerline
- Setback Line
- Existing Building
- Asphalt
- Concrete
- Gravel
- GIS Contour

### Contact

Applicant: -Same as Engineer-  
 Owner: Advanced Pro Builders - Luis, J.  
 advancedprobuilders1@icloud.com  
 303 NE Tomahawk Island Drive, Suite 3  
 Portland OR, 97217  
 Contact: -Same as Engineer-  
 Engineer: Engineering Northwest, PLLC  
 6168 NE Hwy 99, Suite 100  
 Vancouver, WA 98685  
 Contact: Paul Williams, P.E.  
 Phone: (360) 931-3122  
 Email: PaulWilliamsPE@gmail.com

### General Information and Land Use

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 Zone: RP (La Center Residential/Professional)  
 LCMC 18.145.040  
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 R/W area: 0.00 AC (00,000+ SF)  
 Net area: 0.23 AC (10,004+ SF)  
 Max density: 4 du - (???) du = 14 du/AC x .23 AC  
 Min density: 4 du - (???) du = 8 du/AC x .23 AC

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### Development Standards (RP)

LCMC Table 18.140.030 per 18.145.040 (2)	Proposed
Density: 8 du/AC - 14 du/AC	?? du/AC
Min avg. lot area: 1,400 SF	?,?? sf
Max avg. lot area: N/A	?,?? sf
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Min avg. lot depth: 60 ft	?? ft
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Garage	18 ft
Street Side	10 ft
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Rear	10 ft
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Max building height: 35 ft	35 ft

### Waste Collections

Solid waste and recyclable collection by individual bins placed along W E Avenue.

### Parking

Minimum 2 off-street parking stalls provided on each lot.

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# PA05

Project: #####  
 Date: 11/17/2022  
 Drafted:  
 Designed: PCW  
 Page: ##### of #####

Northwest Utilities  
 1-800-425-5555  
 "It's the law"  
 Call 48 hours before you dig.

Revisions:

PROPOSED SEWER AND WATER PLAN  
**ADVANCED BUILDERS FOUR PLEX**



**ENGINEERING NORTHWEST**  
 CONSULTING ENGINEERS & PLANNERS  
 6168 NW HWY 99 STE 100, VANCOUVER 98665  
 (360) 931-3122