

BELLIKKA APARTMENTS

LA CENTER, WA

J2 Builders LLC, 709 NW 21st Street, Battle Ground, WA 98604.

360-773-7050

jack@j2buildersll.com

UTILITY INFORMATION

AT&T COMMUNICATIONS	(800)222-0300
COMCAST CABLE COMMUNICATIONS	(509)817-1212
CLARK PUBLIC UTILITY ELECTRIC	(360)992-3000
CLARK PUBLIC UTILITIES - WATER	(360)992-3000
CITY OF LA CENTER	(360)263-765
NORTHWEST GAS	(800)882-3377
TDS TELECOM-LEWIS RIVER TELEPHONE	(877)407-6235

APPROVAL SIGNATURES	
LA CENTER PLANNING DEPT.	(DATE)
LA CENTER ENGINEERING/PUBLIC WORKS	(DATE)
WATER CPU	(DATE)
ELECTRIC CPU	(DATE)
NORTHWEST GAS	(DATE)
COMMUNICATIONS	(DATE)
FIRE DISTRICT	(DATE)



VICINITY MAP
SCALE: 1" ≈ 100'

INDEX OF DRAWINGS

SHEET #	SHEET TITLE	RELEASE DATE
C0.00	COVER SHEET	04/20/20
C0.10	EXISTING, DEMO AND EROSION CONTROL PLAN	04/20/20
C1.10	SITE, UTILITY, STREET WIDENING PLAN	04/20/20
C1.20	SITE GRADING AND DRAINAGE PLAN	04/20/20
C2.00	STREET DETAILS AND NOTES	05/06/20
C2.10	STREET DETAILS AND NOTES	04/20/20
C2.20	WATER NOTES AND DETAILS	04/20/20
C2.30	SEWER NOTES AND DETAILS	04/20/20
C2.40	STORM NOTES AND DETAILS	04/20/20
C2.50	EROSION CONTROL NOTES AND DETAILS	04/20/20

GENERAL NOTES

- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL GOVERNING CODES, ORDINANCES AND AUTHORITIES HAVING JURISDICTION. GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL REQUIRED PERMITS. THE GENERAL CONTRACTOR IS TO HAVE A FULL TIME QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED.
- ALL MATERIAL SPECIFIED IS TO BE NEW AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. GENERAL CONTRACTOR IS TO CONSTRUCT PROJECT IN ACCORDANCE WITH THE DOCUMENTS. ANY DEVIATION FROM THE INTENT OF THE DOCUMENTS, WITHOUT ENGINEER'S APPROVAL, ARE AT THE CONTRACTOR'S OWN RISK AND MAY RESULT IN THE WORK BEING DONE OVER AT CONTRACTOR'S EXPENSE (MATERIALS AND LABOR).
- CONTRACTOR TO REVIEW AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK. ANY CONDITIONS NOT INDICATED ON CONTRACT DOCUMENTS ARE TO BE REPORTED TO THE ENGINEER PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL REMOVE ALL DEBRIS AS A RESULT OF THIS PROJECT. THE CONTRACTOR WILL REMOVE EXISTING EQUIPMENT, FIXTURES, ETC. IN THE SPACE PRIOR TO CONSTRUCTION AND RELOCATE PER OWNER.
- THE CONTRACTOR SHALL SCHEDULE HIS WORK AND MATERIAL AND EQUIPMENT DELIVERIES SO AS NOT TO INTERFERE WITH THE DAILY VEHICLE TRAFFIC.
- THE CONTRACTOR SHALL PROTECT EXISTING FACILITIES, EQUIPMENT, FIXTURES, ETC. FROM DAMAGE DURING THE COURSE OF CONSTRUCTION.
- ALL SURFACES AND/OR FINISHES DAMAGED AS A RESULT OF AND ADJACENT TO THE WORK SHALL BE REPAIRED AND FINISHED TO EQUAL OR BETTER THAN ORIGINAL CONDITION.
- ALL ITEMS REQUIRED BY THE DRAWINGS AND SPECIFICATIONS SHALL BE PERFORMED IN A WORKMANLIKE MANNER BY PERSONS SKILLED IN THEIR RESPECTIVE TRADE AND WHO NORMALLY PARTICIPATE IN THE WORK OF THAT TRADE.
- THE ENGINEER SHALL BE IN THE FIRST INSTANCE THE SOLE INTERPRETER OF THE DRAWINGS AND SPECIFICATIONS WITH REGARD TO THEIR MEANING OR INTENT. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND PROCEDURES. CONTRACTOR SHALL COORDINATE WORK WITH OWNER TO ALLOW FOR CONTINUED OPERATION OF THE EXISTING FACILITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY AND TRAFFIC CONTROL DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS. ALL WORK IS TO BE COMPLETED PER CITY OF LA CENTER STANDARDS FOR DESIGN AND CONSTRUCTION.

ABBREVIATIONS

A	AGENCY HAVING JURISDICTION	N	NORTH
AHJ		NIC	NOT IN CONTRACT
B		NTS	NOT TO SCALE
BLDG	BUILDING	O	
BVCE	BEGIN VERTICAL CURVE ELEVATION	OPP	OPPOSITE
BVCS	BEGIN VERTICAL CURVE STATION	P	
C		PVI	POINT OF VERTICAL INTERSECTION
CATV	CABLE TV	PROP	PROPERTY
CI	CONSTRUCTION JOINT	R	
D		REF	REFERENCE
DTL	DETAIL	REQ'D	REQUIRED
DIA	DIAMETER	REV	REVISION
DIM	DIMENSION	ROW	RIGHT-OF-WAY
DIV	DIVISION	S	
DWG	DRAWING	SGH	SCHEDULE
E		SIM	SIMILAR
E	EAST	S	SOUTH
EA	EDGE OF ASPHALT	SPEC	SPECIFICATION
ELEC	ELECTRIC	STD	STANDARD
ELEV	ELEVATION	T	
EQ	EQUAL	TEL	TELEPHONE
EQUIP	EQUIPMENT	TYP	TYPICAL
EVCE	END VERTICAL CURVE ELEVATION	TBC	TOP BACK OF CURB
EVCS	END VERTICAL CURVE STATION	U	
EXIST	EXISTING	UNO	UNLESS NOTED OTHERWISE
F		V	
FO	FIBER OPTIC	VERT	VERTICAL
H		W	
HT	HEIGHT	w/	WITH
HORIZ	HORIZONTAL		
HR	HOUR		
I			
IBC	INTERNATIONAL BUILDING CODE		
M			
MAX	MAXIMUM		
MIN	MINIMUM		
MPVSS	MT PUBLIC WORKS STANDARD SPECIFICATIONS		

CITY APPROVAL STAMP

DRAWN: _____

CHECKED: COVER SHEET

DATE: 04/20/20

SCALE: 8LD

JOB#: 180106

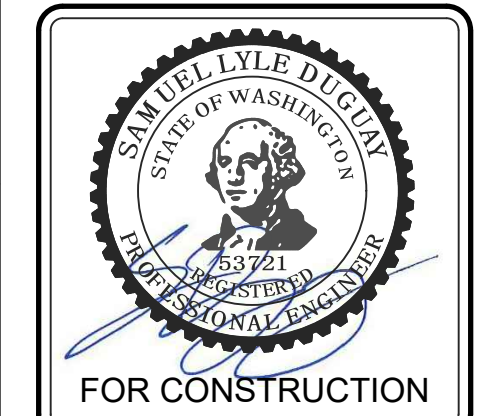
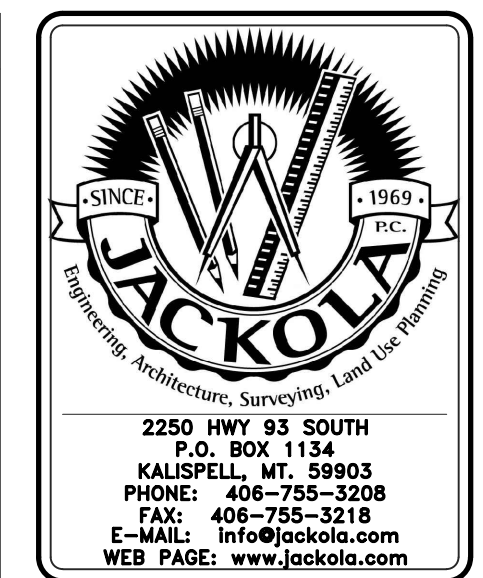
REVISIONS:

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LEGEND

▲	TRAFFIC SIGN	—	EXISTING PROPERTY LINE	—	EXISTING ASPHALT
■	SPLASH BLOCK	—	EXISTING GAS	—	EXISTING BUILDING
□	ELECTRICAL JUNCTION BOX	—	EXISTING FIBER OPTIC	—	EXISTING SIDEWALK
○	TELEPHONE PEDESTAL	—	EXISTING UNDERGROUND PHONE	—	PROPOSED ASPHALT
○	LIGHT POLE	—	EXISTING UNDERGROUND POWER	—	PROPOSED BUILDING
○	UTILITY POLE	—	EXISTING OVERHEAD POWER	—	PROPOSED SIDEWALK
⊠	TRANSFORMER	—	EXISTING WATER	—	STANDARD CURB AND GUTTER
⊠	WATER GATE VALVE	—	EXISTING SANITARY SEWER	—	SPILL CURB AND GUTTER
⊠	FIRE HYDRANT	—	EXISTING STORM DRAIN	—	DRIVE OVER CURB AND GUTTER
⊠	FROST FREE YARD HYDRANT	—	FENCE	—	EXISTING SPOT GRADE
⊠	WATER CURB STOP	—	PROPOSED PROPERTY LINE	—	DESIGN SPOT GRADE
⊠	CAP WITH THRUST BLOCK	—	GAS MAIN	—	TOP BACK OF CURB GRADE
⊠	WATER TEE	—	UNDERGROUND TELEPHONE	—	
⊠	THRUST BLOCK	—	UNDERGROUND CABLE	—	
⊠	IRRIGATION VALVE BOX	—	OVERHEAD POWER	—	
⊠	SEWER CLEAN OUT	—	UNDERGROUND POWER	—	
⊠	SEWER MANHOLE	—	WATER MAIN	—	
⊠	STORM MANHOLE	—	IRRIGATION	—	
⊠	CATCH BASIN	—	SANITARY SEWER MAIN	—	
⊠	STORM DRAIN DRYWELL	—	STORM DRAIN	—	
⊠	CURB INLET	—	FOUNDATION DRAIN	—	
		—	ROOF DRAIN	—	
		—	DRAINAGE SWALE	—	
		—	TOP OF POND	—	
		—	EXISTING CONTOUR	—	
		—	DESIGN CONTOUR	—	



BELLIKKA APARTMENTS
 EAST 7TH STREET
 LA CENTER, WASHINGTON

SHEET
COVER SHEET

DRAWN: _____

CHECKED: COVER SHEET

DATE: 04/20/20

SCALE: 8LD

JOB#: 180106

REVISIONS:

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PERMIT DRAWINGS

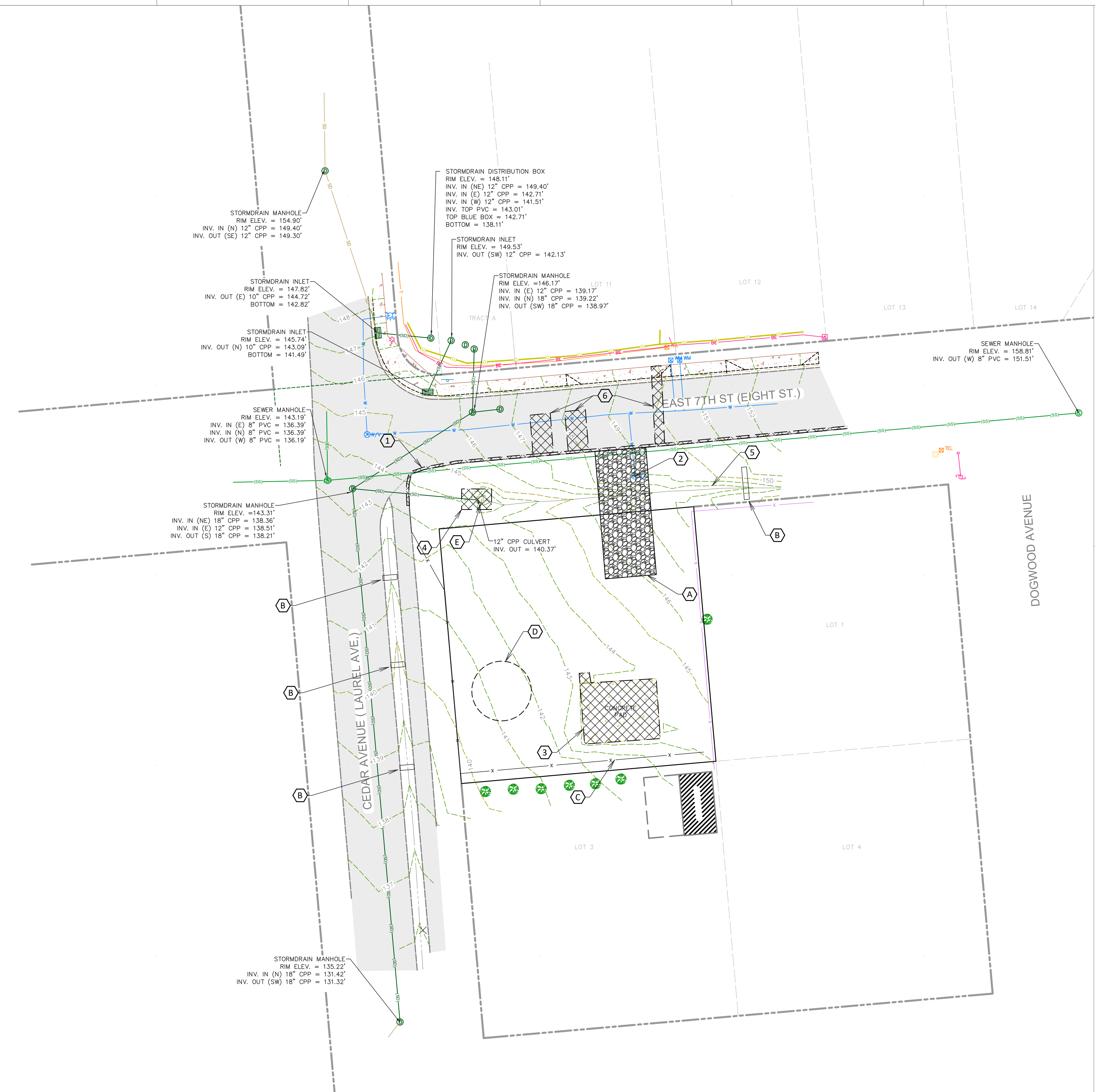
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DEMO NOTES:

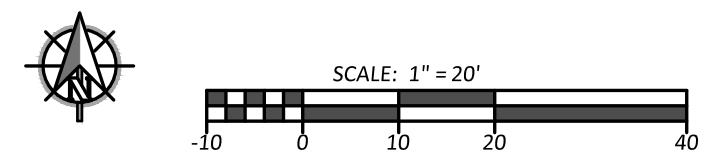
1. NEATLY SAWCUT 1' STRIP OF ASPHALT, REMOVE, AND PROPERLY DISPOSE.
2. EXISTING WATER METER TO BE REMOVED; PER CPU REQUIREMENTS.
3. EXISTING CONCRETE PAD TO BE DEMOLISHED AND PROPERLY REMOVED FROM THE SITE.
4. REMOVE DITCH INLET AND STRUCTURE. RELOCATE PER DESIGN DRAWINGS. EXPOSE APPROXIMATELY 8' OF EXISTING CPP TO BE RECONNECTED TO NEW STORM MANHOLE PER DESIGN DRAWINGS.
5. REMOVE RIP-RAP ROCK FROM DITCH, RE-USE ON SOUTHERN PORTION OF PROPERTY PER DESIGN.
6. NEATLY SAWCUT ASPHALT, REMOVE, AND PROPERLY DISPOSE. PAVEMENT RESTORATION PER CITY DETAIL ST-18 ON SHEET C2.00

EROSION CONTROL NOTES:

- A. INSTALL CONSTRUCTION ENTRANCE PER DETAIL ER-2.
- B. INSTALL STRAW WATTLE BARRIERS ACROSS DRAINAGE DITCHES PER DETAIL ER-7.
- C. INSTALL FILTER FABRIC FENCE FOR SEDIMENT CONTROL PER DETAIL ER-3.
- D. STOCKPILE AREA WITH PLASTIC SHEETING PER DETAIL ER-6.
- E. INSTALL INLET FILTER BARRIER PER DETAIL ER-4.



1 EXISTING CONDITIONS, DEMO, EROSION CONTROL
1" = 20'



PROJECT #: 10106 Z:\client\10106\10106\Bellikka_Apartments\Drawings\1_AutoCAD\Bellikka_Topo_SLD.dwg

DRAWN: SLD CHECKED: SLD

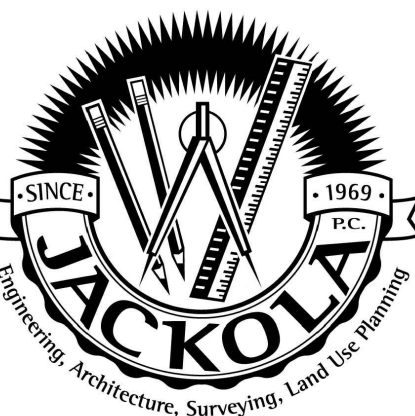
DATE: 4/17/20

REVISIONS:

A CITY COMMENTS 5/6/2020

EXISTING CONDITIONS, DEMO, EROSION CONTROL

C0.10



KALISPELL BOZEMAN VANCOUVER
406-755-3208 406-586-0707 800-852-8746
info@jackola.com jackola.com



PERMIT DRAWINGS

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LOT SUMMARY:
ZONING DESIGNATION MDR-16 RP - RESIDENTIAL PROFESSIONAL-
MINIMUM BUILDING SETBACKS -
FRONT 10 FT
FRONT GARAGE 18 FT
SIDE 0 FT
SIDE CORNER 10 FT
REAR 10 FT

LOT SIZE 9,996.58 SF
BUILDING SIZE = 3,400 SF / 34%
IMPERVIOUS AREA INCLUDING BUILDINGS = 4,724 SF / 47.3%
PERMITTED LOT COVERAGE - 60%
MAX HEIGHT 35'
PROPOSED LOT COVERAGE - 47.3%

AT LEAST 15% OF THE GROSS SQUARE FOOTAGE OF THE PROJECT SITE MUST BE LANDSCAPED

PARKING SUMMARY:
MINIMUM REQUIRED PARKING SPACES 1.75/DU
PROVIDED PARKING SPACES 2/DU
4 PROPOSED UNITS

PARKING REQUIRED = 4 UNITS * 1.75 SPACES PER UNIT = 7 SPACES
PARKING PROVIDED - 4 DRIVE WAY SPACES AND 4 GARAGE SPACES

JOINT POWER AND COMMUNICATIONS EASEMENT 10' WIDE, 5' EACH SIDE OF LABELED CENTER LINE. SEE PLAN C1.10

WATER AND SEWER EASEMENT 10' WIDE CENTERED ON NEW WATER AND SEWER SERVICES INSTALLED PER PLAN. SEE PLAN C1.20

LENGTH OF PAVEMENT TAPER PER CITY DETAIL:
 $L = (W \times S) / 60$ (for S = less than 45)
Where L = minimum length of taper (feet),
S = Design speed (MPH), and W = EP to EP offset width

PLACE EDGE STRIPING PER WSDOT DETAIL M-2010-02 ON SHEET C2.00

ADA CONCRETE CURB RAMP WITH INDICATOR TILE PER STD DETAIL 56 ON SHEET C2.00

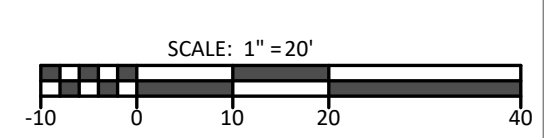
WATER AND SEWER CONNECTIONS ON-SITE SHALL BE PER PLUMBING CODE THROUGH THE BUILDING DEPARTMENT



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PROJECT #: 101106

1 SITE, UTILITY, STREET WIDENING PLAN
1" = 20'



BELLIKKA APARTMENTS
EAST 7TH STREET
LA CENTER, WASHINGTON

DRAWN: SLD CHECKED: SLD

DATE: 4/17/20

REVISIONS:	
A	CITY COMMENTS 5/6/2020
B	CITY COMMENTS 6/15/2020

SITE, UTILITY,
STREET
WIDENING PLAN

C1.10

BELLIKKA APARTMENTS
 EAST 7TH STREET
 LA CENTER, WASHINGTON

DRAWN: SLD CHECKED: SLD

DATE: 4/17/20

REVISIONS:

NO.	DESCRIPTION	DATE
A	ADDENDUM	---/---/---
1	REVISION	---/---/---

**SITE GRADING
 AND DRAINAGE
 PLAN**

C1.20



PRE-CONSTRUCTION STORMWATER FROM THE STREET FLOWED INTO A DITCH ON THE NORTH SIDE OF THE PROPERTY AND ENTERED A DITCH INLET THAT DISCHARGED TO THE STORMWATER SYSTEM IN CEDAR AVE.
 POST-CONSTRUCTION STORMWATER FLOWS FROM THE STREET WILL FOLLOW THE NEW CURB AND GUTTER TO A CATCH BASIN, THEN THROUGH A NEW 8" STORM PIPE TO A MANHOLE. FROM THERE THE STORMWATER DISCHARGES TO THE STORM SYSTEM IN CEDAR AVE.
 A NEW 12" STORM PIPE ON THE NORTH SIDE OF THE SITE WILL REPLACE THE EXISTING DITCH ALONG E. 7TH.
 THE WESTERMOST DRIVEWAY STORMWATER WILL FLOW TOWARDS THE STREET AND ENTER THE NEW CATCH BASIN IN THE FLOW LINE OF THE CURB/GUTTER. THE EASTERMOST DRIVEWAY WILL FLOW TOWARDS THE BUILDING TO A DRIVEWAY DRAIN AND DISCHARGE INTO THE YARD FOR DISPERSION AND INFILTRATION.
 THE ROOF DRAINS WILL DISCHARGE TO THE NEW 12" STORM PIPE ON THE NORTH SIDE OF THE PROPERTY.
 THE YARD RUNOFF WILL CONTINUE TO FLOW AS-IS. IMPERVIOUS AREA IN THE YARD IS REDUCED WITH THE DEMOLITION OF THE CONCRETE PAD AT THE SOUTH END OF THE PROPERTY.
 STORMWATER DISCHARGE FROM THE SITE TO ADJACENT PROPERTIES IS EXPECTED TO DECREASE FOR ALL STORM EVENTS POST-CONSTRUCTION.

PERMIT DRAWINGS

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BELLIKKA APARTMENTS
EAST 7TH STREET
LA CENTER, WASHINGTON

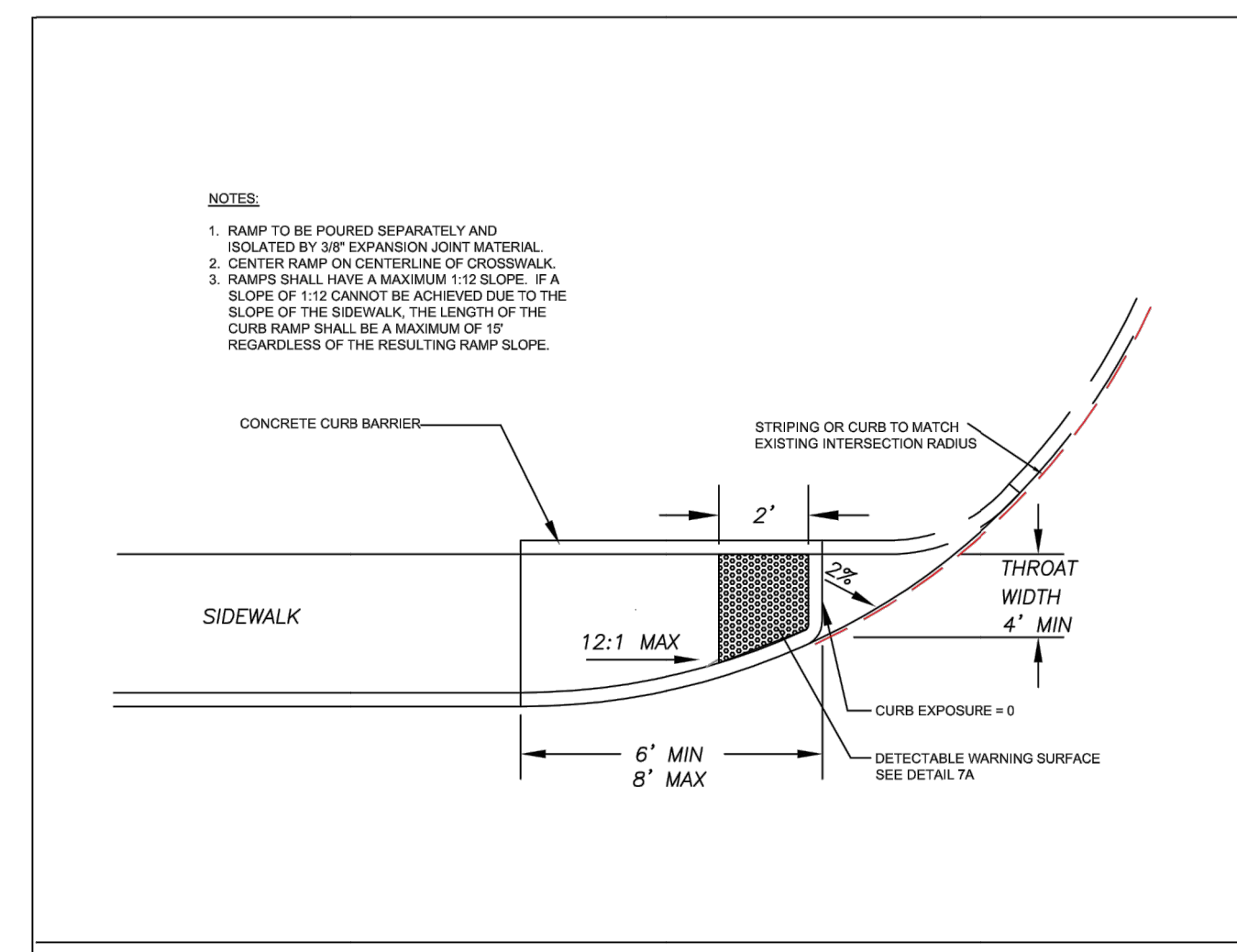
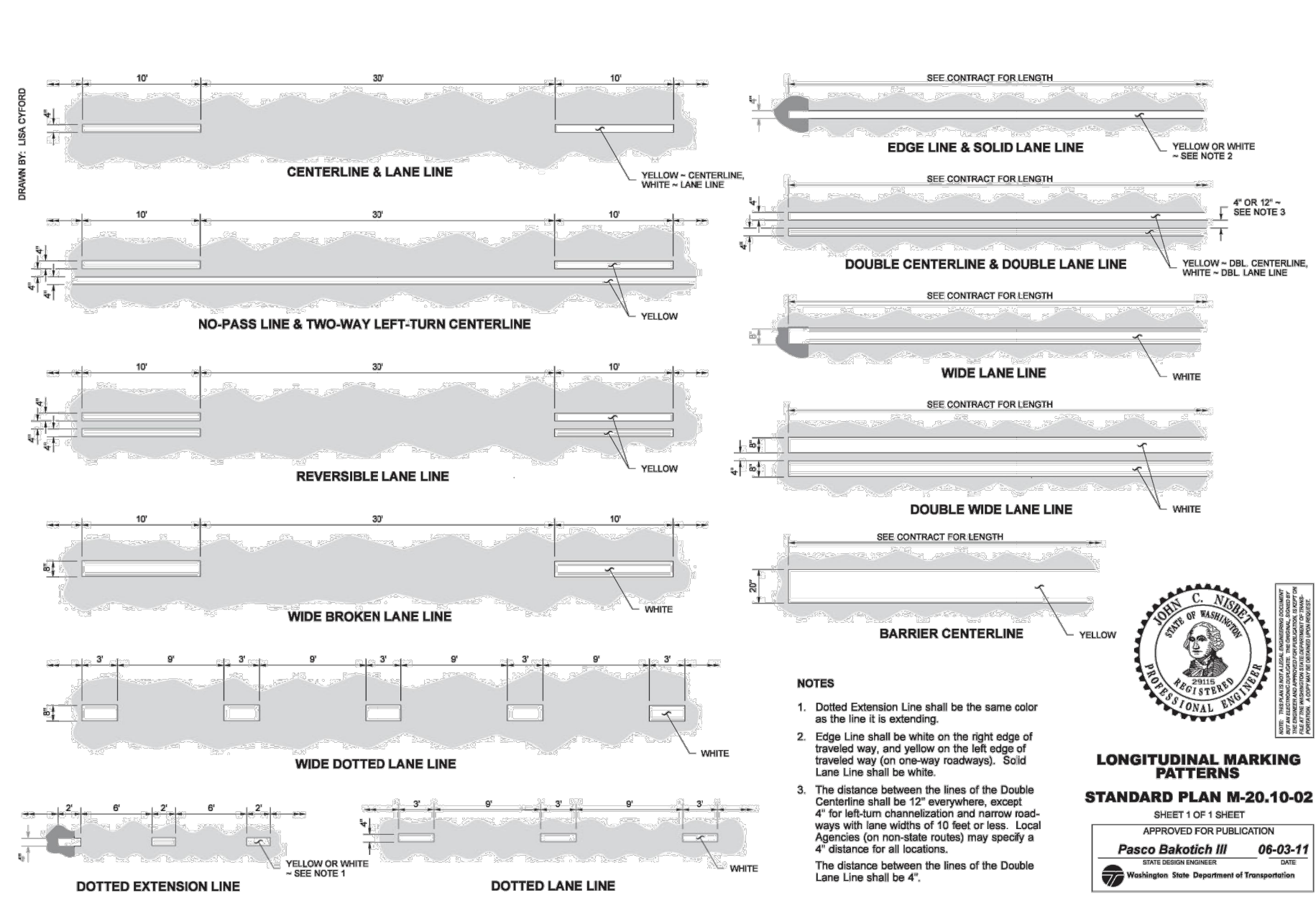
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DATE: 4/17/20

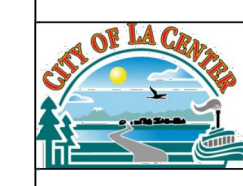
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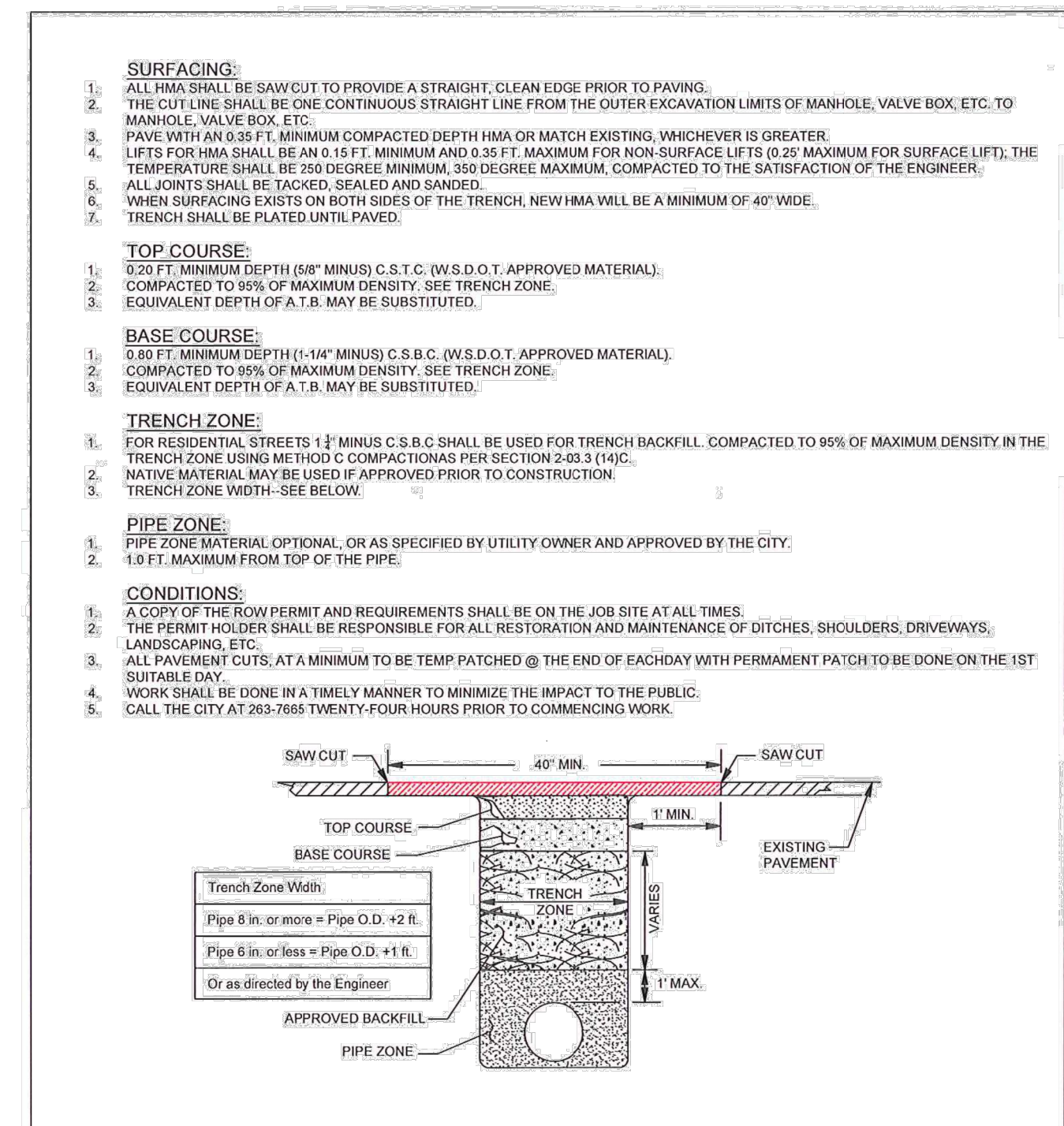
STREET DETAILS AND NOTES

C2.00

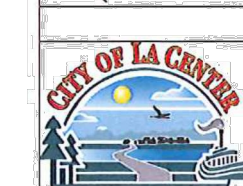


TYPE 2B CURB RAMP PLAN #

CITY OF LA CENTER APPROVED	REVISIONS:	DATE:	DRAWN/DESIGNED:	PLAN #
 Anthony P. Volpega	1		ALC ALC	ST-9B
CITY ENGINEER	2	4/30/20		
		DATE		

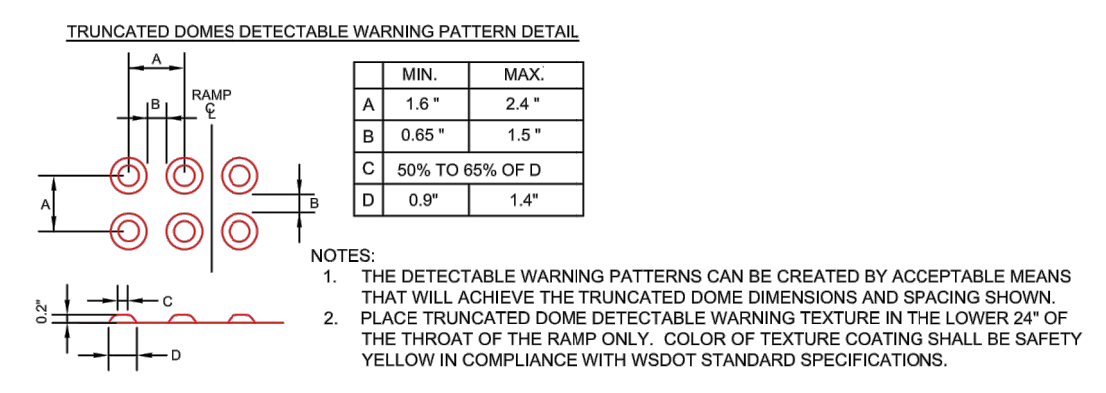


OPEN CUT UTILITY TRENCH BACKFILL DETAIL (NEIGHBORHOOD AND LOCAL ACCESS STREETS) PLAN #

CITY OF LA CENTER APPROVED	REVISIONS:	DATE:	DRAWN/DESIGNED:	PLAN #
 Paul P. Volpega	1	9/28/10	BES BES	ST-18
CITY ENGINEER	1	2/19/18	ALC ALC	
		DATE		

- MATERIALS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH THE "CITY OF LA CENTER STANDARDS" AND THE LATEST EDITION OF THE "WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE & MUNICIPAL CONSTRUCTION" AS PREPARED BY WSDOT AND THE WASHINGTON STATE CHAPTER OF THE APWA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION AND TO NOTIFY THE ENGINEER OF ANY POTENTIAL CONFLICTS. THE CONTRACTOR SHALL DIG TEST HOLES OVER ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION TO DETERMINE THEIR EXACT LOCATION. CALL 1-800-424-6555 (NORTHWEST UTILITY NOTIFICATION CENTER), FOR MARK-UP OF EXISTING UTILITIES. A MINIMUM OF 2 WORKING DAYS PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTOR TWO WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, AND APPROVAL OF THE CONSTRUCTION WILL BE BY THE CITY PUBLIC WORKS DEPARTMENT.
- AN APPROVED TRAFFIC CONTROL PLAN WILL BE REQUIRED PRIOR TO THE START OF CONSTRUCTION WITHIN A CITY OR COUNTY RIGHT-OF-WAY.
- COMPACTION SHALL BE AS FOLLOWS:
-SUBGRADE SHALL BE COMPACTED TO A DEPTH OF 6" AT 95% OF THE RELATIVE DRY DENSITY.
-ASPHALT CONCRETE SHALL BE COMPACTED TO 95% OF THE MAXIMUM RELATIVE DENSITY.
-CRUSHED ROCK SHALL BE COMPACTED TO 95% STANDARD DENSITY.
- STREET SIGNS SHALL BE INSTALLED BY THE DEVELOPER. THE CITY WILL PROVIDE STREET SIGNS TO THE DEVELOPER.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ALL CROSSWALK SIGNS, CENTERLINE STRIPING, AND CURB RETURN PAINTING. ALL PERMANENT STRIPING TO BE THERMOPLASTIC.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OR PROPORTIONAL SHARE OF THE STREET LIGHT INSTALLATION.
- MAIL BOXES SHALL HAVE 12" MINIMUM CLEARANCE FROM THE BACK OF THE SIDEWALK.
- A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE CITY PRIOR TO BEGINNING OF CONSTRUCTION.
- TRENCH BACKFILL REQUIREMENTS WILL BE PER STANDARD DETAIL SS-4 AND ST17 - ST19. PIPE BEDDING REQUIREMENTS WILL BE PER STANDARD DETAIL SS-5.
- ALL WATER SYSTEM IMPROVEMENTS WILL BE APPROVED BY CLARK PUBLIC UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- ALL SIGNING AND STRIPING WILL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD), AS AMENDED BY WSDOT.

STREETS & SIDEWALKS GENERAL NOTES		PLAN #
CITY OF LA CENTER APPROVED	REVISIONS: DATE: DRAWN/DESIGNED:	ST-1
Barb Stapp, PE 7/23/09 CITY ENGINEER DATE		

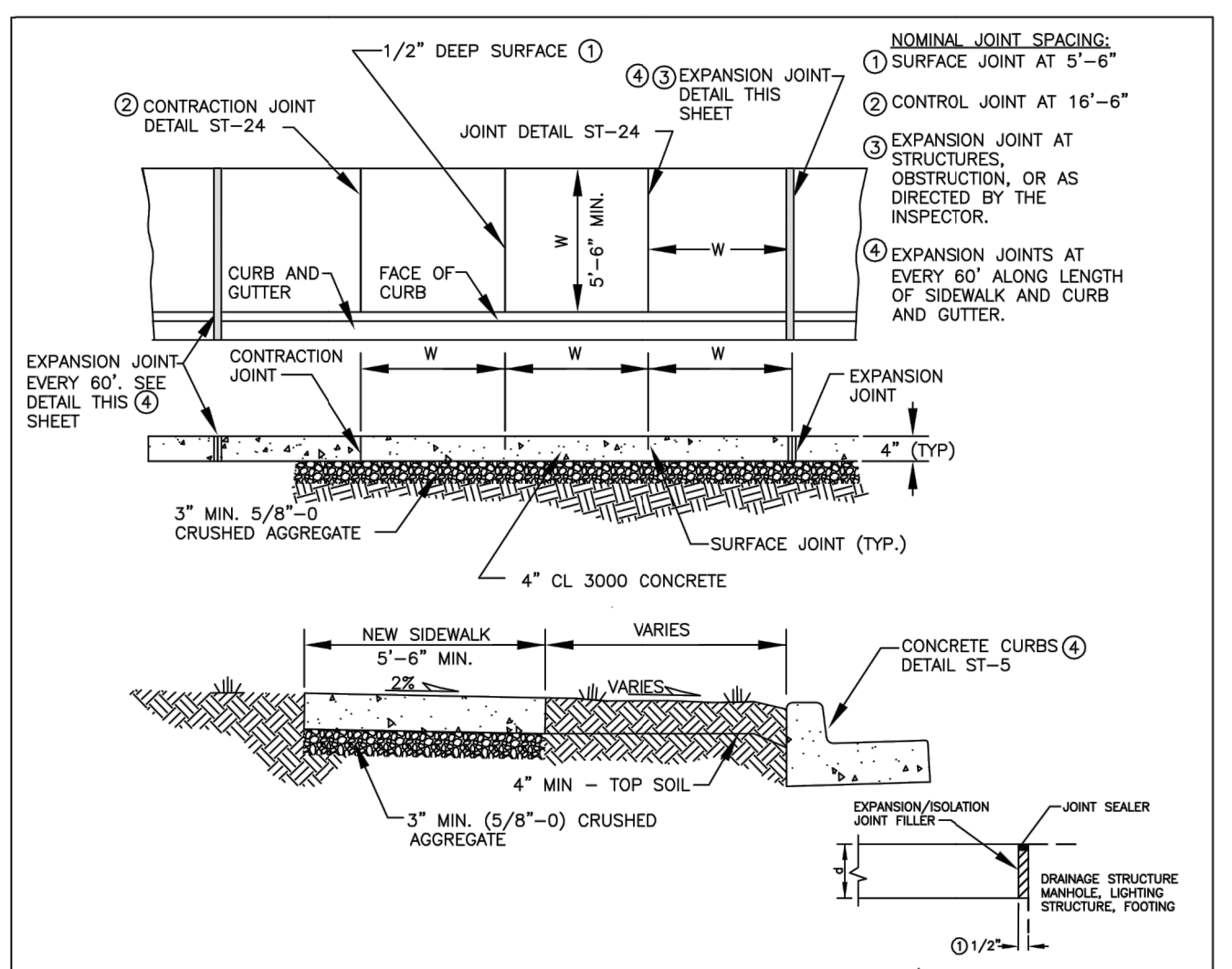


NOTES:

- THE DETECTABLE WARNING PATTERNS CAN BE CREATED BY ACCEPTABLE MEANS THAT WILL ACHIEVE THE TRUNCATED DOME DIMENSIONS AND SPACING SHOWN. PLACE TRUNCATED DOME DETECTABLE WARNING TEXTURE IN THE LOWER 20% OF THE THROAT OF THE RAMP ONLY. COLOR OF TEXTURE COATING SHALL BE SAFETY YELLOW IN COMPLIANCE WITH WSDOT STANDARD SPECIFICATIONS.

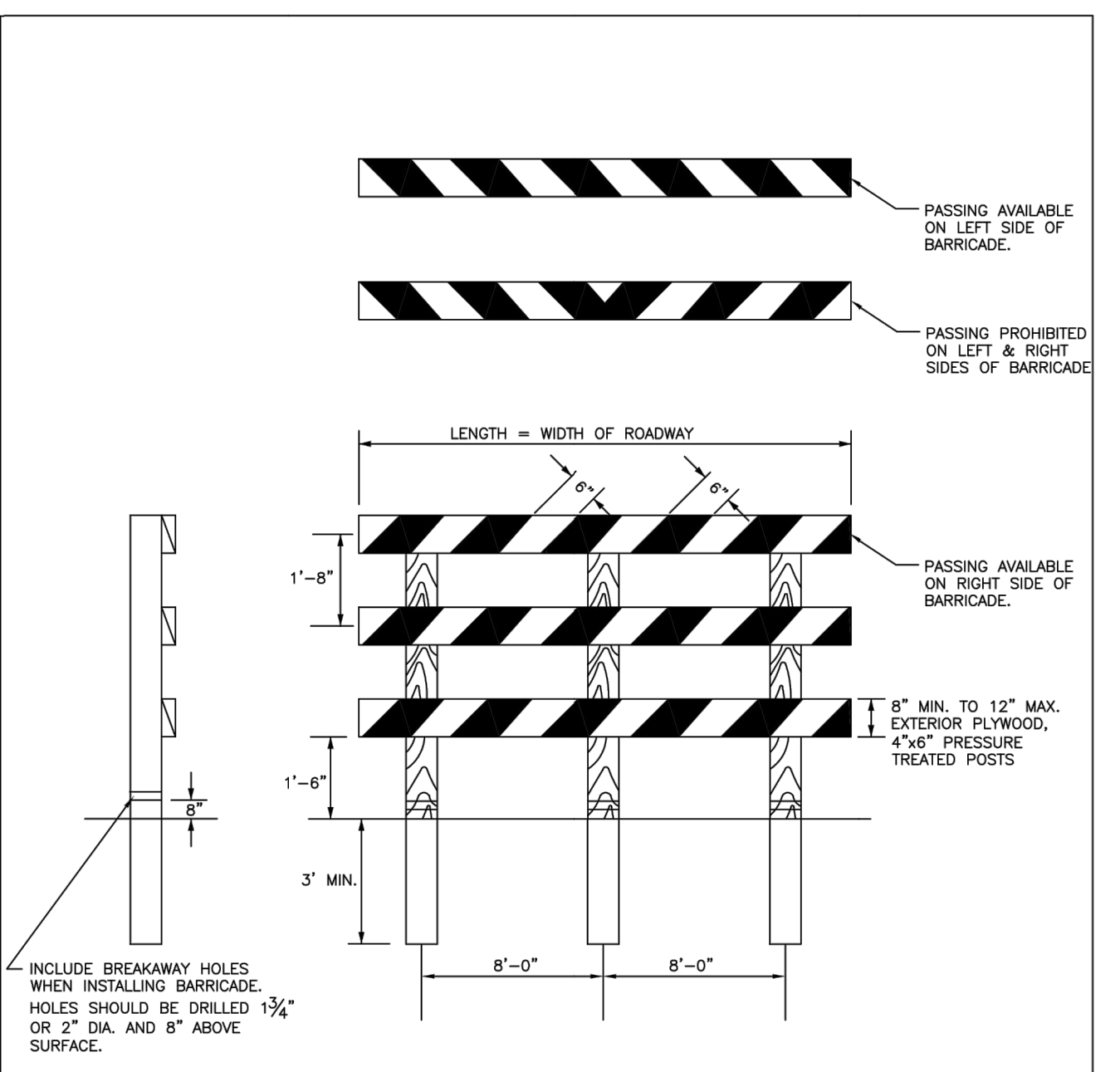
	MIN.	MAX.
A	1.8"	2.4"
B	0.65"	1.5"
C	50% TO 65% OF D	
D	0.9"	1.4"

TRUNCATED DOME DETAIL		PLAN #
CITY OF LA CENTER APPROVED	REVISIONS: DATE: DRAWN/DESIGNED:	ST-7A
Anthony Pealopes CITY ENGINEER DATE		

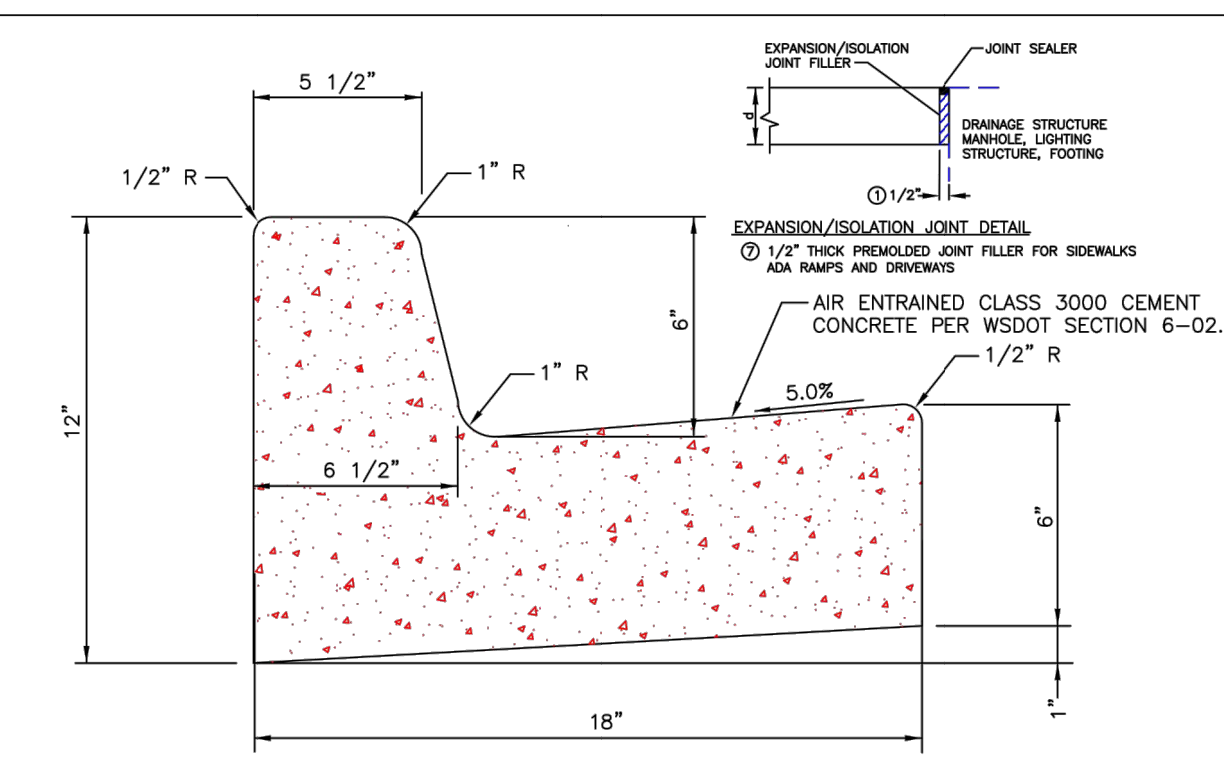


- NOTES:
- CONCRETE SHALL BE 3000 PSI MIN. (CL 3000), 3 1/2" SLUMP (MAX.).
 - COMPACT SUBGRADE AND AGGREGATE TO 95% OF MAXIMUM DRY DENSITY (3" MIN.).
 - FINISH SHALL BE MEDIUM BROOM PERPENDICULAR TO PEDESTRIAN TRAFFIC UNLESS OTHERWISE DIRECTED.
 - IN EXISTING SIDEWALK AREAS MATCH 2" SMOOTH FINISH BORDER AROUND EACH SIDEWALK PANEL IF PRESENT.
 - IF REPLACING EXISTING SIDEWALK THAT IS LESS THAN 5'-6" IN WIDTH THE MINIMUM WIDTH SHALL BE 5'.
 - ALL EXISTING EDGES SHALL BE SAWCUT.
 - CROSS SLOPE OF PLANTER STRIP SHALL BE 2% (TYP.) AND 4:1 (MAX.).
 - PLANTER STRIP IS REQUIRED ONLY FOR MAJOR AND SECONDARY ARTERIALS.

SIDEWALK DETAIL		PLAN #
CITY OF LA CENTER APPROVED	REVISIONS: DATE: DRAWN/DESIGNED:	ST-23
TONY COOPER CITY ENGINEER DATE		

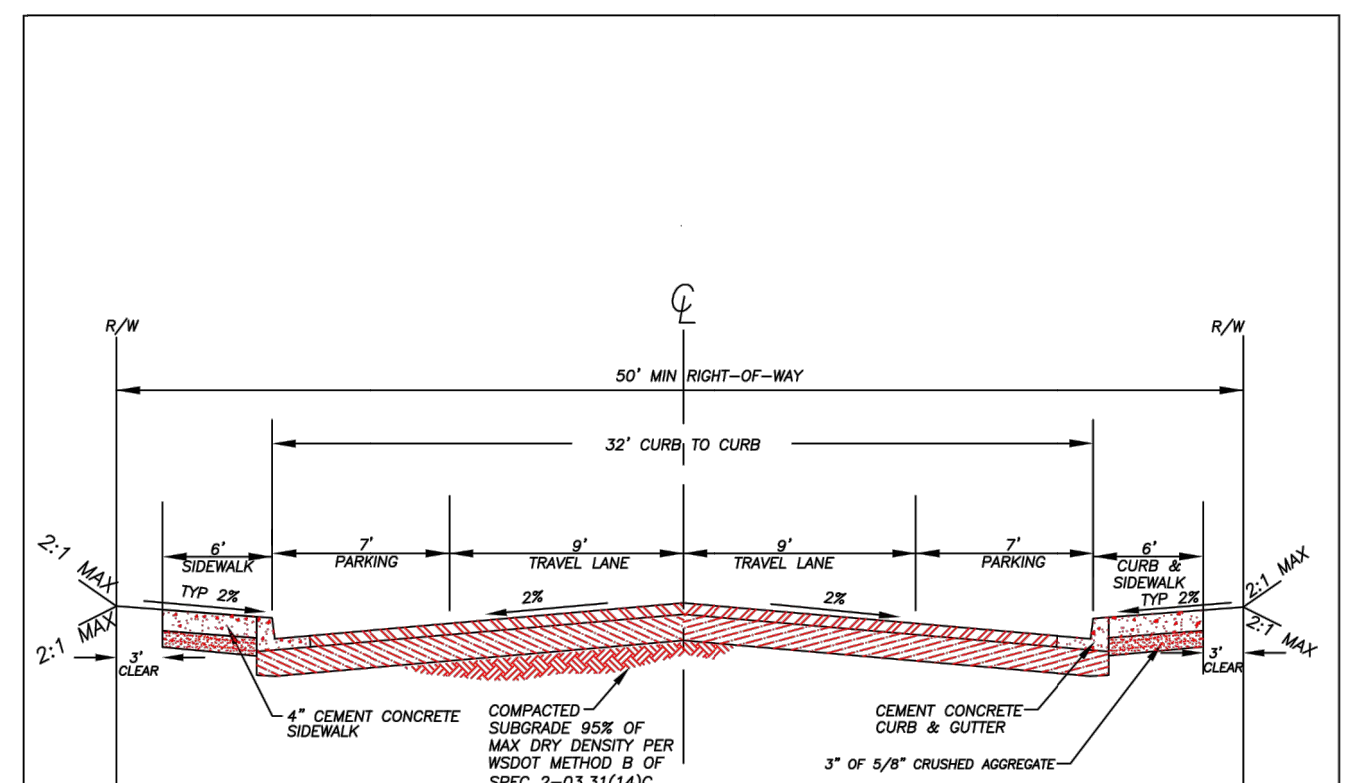


TYPE III BARRICADE		PLAN #
CITY OF LA CENTER APPROVED	REVISIONS: DATE: DRAWN/DESIGNED:	ST-2
Barb Stapp, PE 7/23/09 CITY ENGINEER DATE		



- NOTES:
- CURB AND GUTTER CUTS FOR DRIVEWAYS SHALL NOT BE DONE UNTIL ISSUANCE OF BUILDING AND OR RIGHT-OF-WAY PERMIT.
 - CURB AND GUTTER REPLACEMENT SECTIONS WILL BE REPLACED AS ONE CONTINUOUS UNIT, MONOLITHIC, AS THE DETAIL DEPICTS.
 - CONTRACTION JOINTS SHALL BE PLACED EVERY 15'.
 - CONCRETE SHALL BE AIR ENTRAINED CLASS 3000 CEMENT PER WSDOT SPECIFICATION 6-02 EXCEPT AT DRIVEWAYS WHERE CONCRETE WILL BE CLASS 4000.
 - USE CURB & GUTTER ON ALL NEW ROADS.
 - PROVIDE A 15' TRANSITION BETWEEN EXISTING CURBS AND NEW CURB AND GUTTERS WHERE REQUIRED.
 - INSTALL EXPANSION JOINT PER THIS DETAIL AT 60' ALONG LENGTH OF THE CURB AND GUTTER. THE EXPANSION JOINT SHALL BE PLACED AT THE SAME LOCATION OF THE SIDEWALK EXPANSION JOINT WHEN THE CURB IS ADJACENT TO THE SIDEWALK.

CURB & GUTTER DETAIL		PLAN #
CITY OF LA CENTER APPROVED	REVISIONS: DATE: DRAWN/DESIGNED:	ST-5
TONY COOPER CITY ENGINEER DATE		

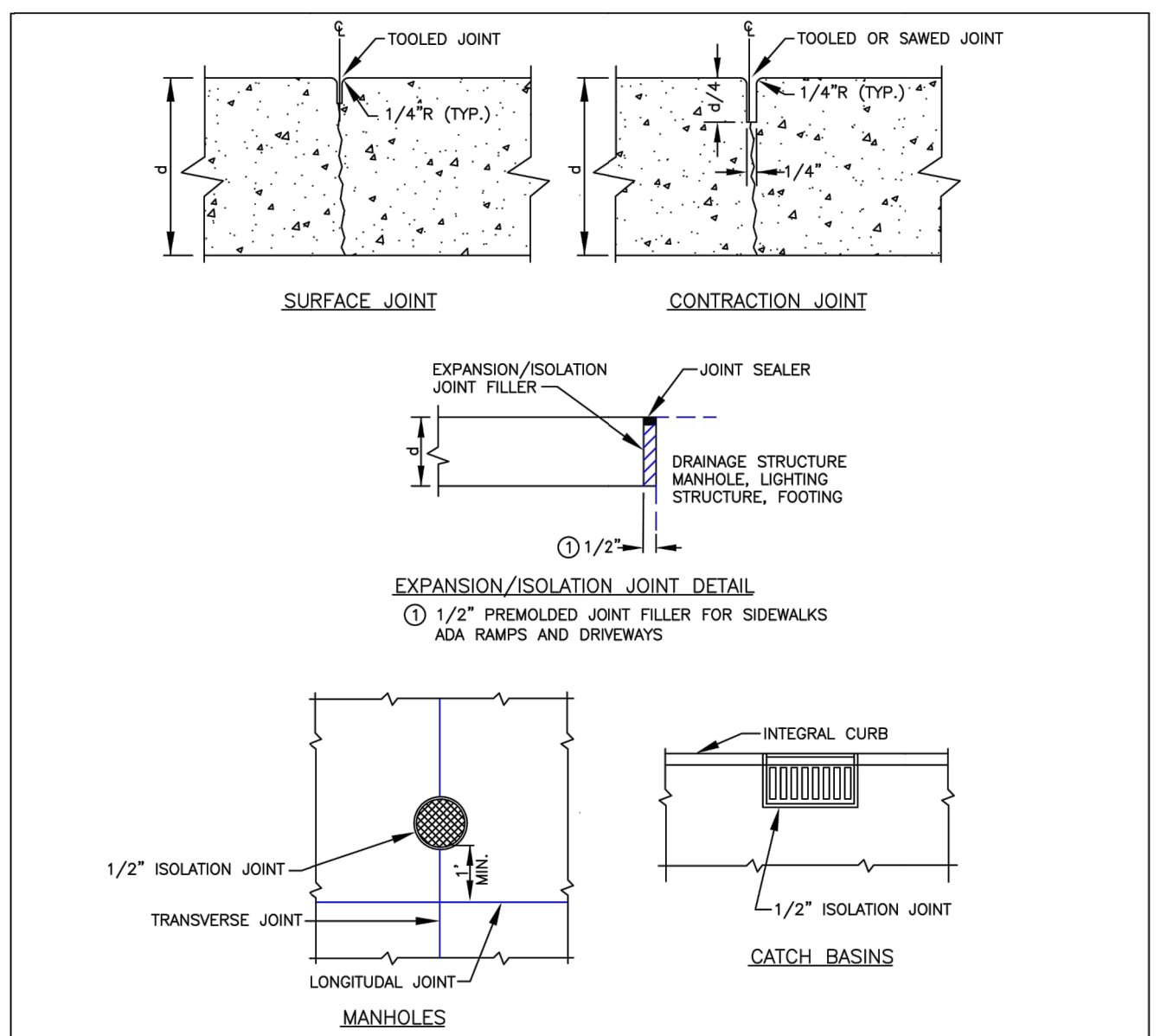


NOTES:

- WIDER SIDEWALKS MAY BE REQUIRED BY REVIEWING AUTHORITY UNDER CERTAIN CIRCUMSTANCES.
- SUBGRADE REINFORCEMENT GEOTEXTILES SHALL BE INSTALLED OVER A-6 AND A-7 SOILS PRIOR TO CONSTRUCTING THE BASE AND SURFACING.
- ASPHALT SURFACE FOR ALL ROADS SHALL BE CLASS 3" PG 64-22 HMA PER WSDOT STANDARD SPECIFICATIONS.
- THE PAVEMENT STRUCTURE THICKNESSES IDENTIFIED FOR THESE SOIL TYPES ARE REQUIRED UNLESS A SITE SPECIFIC PAVEMENT DESIGN IS DONE. THE TOTAL PAVEMENT STRUCTURE SHALL NOT EXCEED 2.5 FEET.
- EITHER CONVENTIONAL OR THICK ASPHALT CONSTRUCTION IS ALLOWED.
- BASE ROCK SECTION SHALL BE TWO (2) INCHES OF 5/8"-0" TOP COURSE, OVER REMAINING DEPTH OF BASE COURSE PER WSDOT STANDARD SPECIFICATION SECTION 9-02.9(3). TOTAL BASE ROCK SECTION THICKNESS AS INDICATED IN THE TABLES.

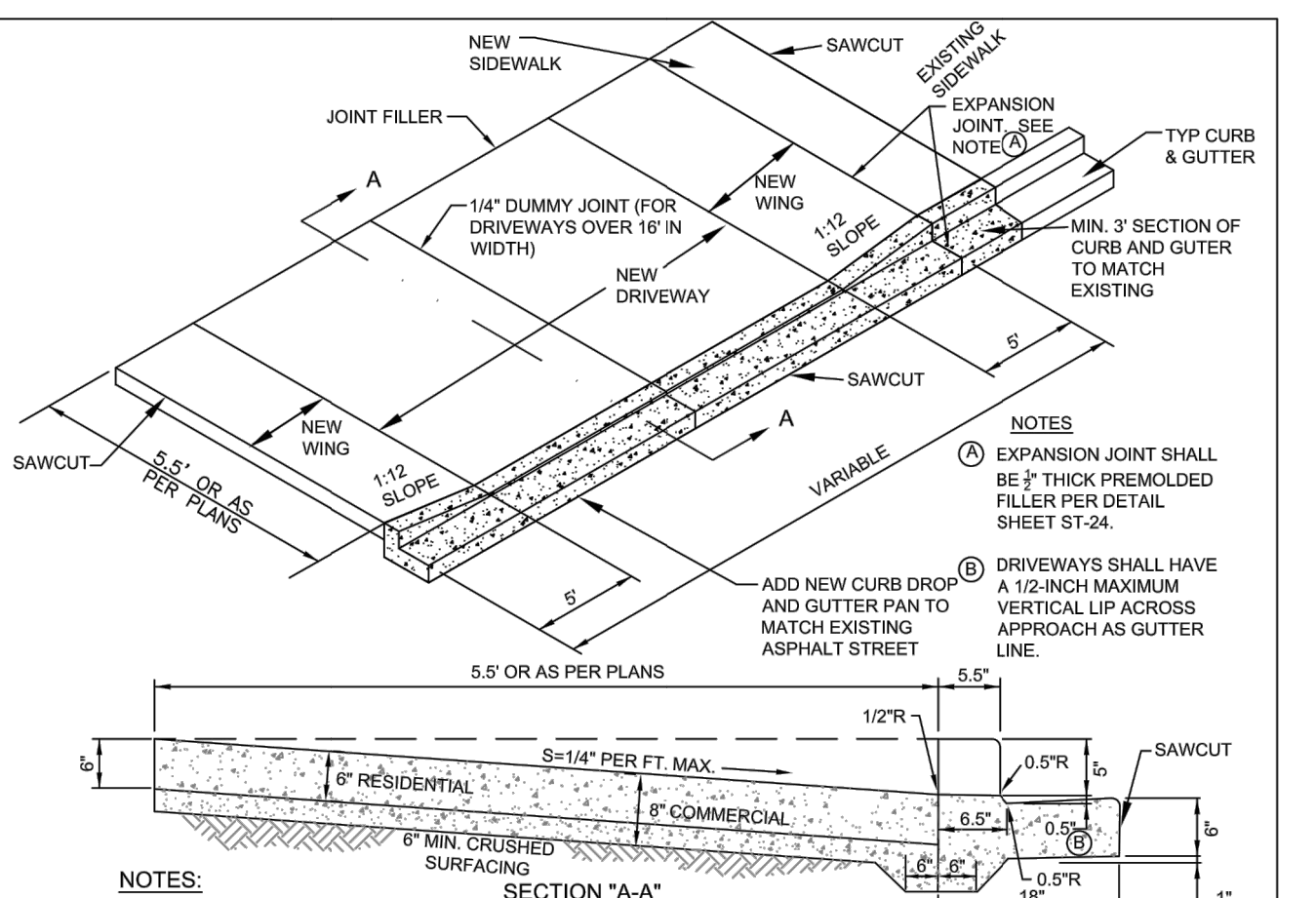
CONVENTIONAL CONSTRUCTION			THICK ASPHALT CONSTRUCTION		
ASHTO SOIL TYPE	ASPHALT THICKNESS	BASE ROCK THICKNESS	ASHTO SOIL TYPE	ASPHALT THICKNESS	BASE ROCK THICKNESS
A-1	0.30"	0.50"	A-1	0.40"	0.25"
A-2	0.30"	0.50"	A-2	0.42"	0.25"
A-3	0.30"	0.50"	A-3	0.44"	0.25"
A-4	0.30"	0.60"	A-4	0.45"	0.25"
A-5	0.30"	0.60"	A-5	0.45"	0.25"
A-6	0.30"	0.90"	A-6	0.55"	0.25"
A-7	0.40"	1.00"	A-7	0.60"	0.25"
OTHER	NO SECTION ESTIMATED		OTHER	NO SECTION ESTIMATED	

LOCAL ACCESS		PLAN #
CITY OF LA CENTER APPROVED	REVISIONS: DATE: DRAWN/DESIGNED:	ST-15
Barb Stapp, PE 9/27/10 CITY ENGINEER DATE		



- NOTES:
- CONTRACTION JOINTS MAY BE USED IN PLACE OF SURFACE JOINTS.
 - CONSTRUCTION COLD JOINTS MAY BE USED IN PLACE OF CONTRACTION JOINTS.
 - CONCRETE PAVEMENT LOAD TRANSFER REQUIREMENTS ACROSS JOINTS SHALL BE DETERMINED BY PCC PAVEMENT DESIGN.
 - PARALLEL JOINTS SHALL BE SEPARATED BY A MINIMUM OF 2'.

CONCRETE JOINTS DETAIL		PLAN #
CITY OF LA CENTER APPROVED	REVISIONS: DATE: DRAWN/DESIGNED:	ST-24
TONY COOPER CITY ENGINEER DATE		



- NOTES:
- CONCRETE SHALL BE CLASS 4000 PER WSDOT 6-02 THE FULL WIDTH OF THE DRIVEWAY. MEDIUM BROOM FINISH PARALLEL TO DRIVEWAY CENTERLINE.
 - TO BE USED FOR SIDEWALK ADJACENT TO CURB ONLY.
 - ALL JOINTS SHALL BE FINISHED WITH A 1/4" RADIUS EDGE UNLESS OTHERWISE NOTED.
 - DRIVEWAYS EXCEEDING 15' IN TOTAL WIDTH SHALL HAVE ADDITIONAL LONGITUDINAL JOINTS AS DIRECTED. 1'-0" DEEP CUT JOINT SPACING SHALL NOT EXCEED 15'.
 - COMMERCIAL DRIVEWAYS REQUIRE REINFORCING STEEL (6#x2 @ 24" O.C. MIN). MINIMUM 3' SECTION OF CURB WILL BE CONSTRUCTED ADJACENT TO THE NEW DRIVEWAY WING.
 - COMPACT SUBGRADE TO 95% OF MAXIMUM DENSITY.
 - EXISTING CURB SHALL BE REMOVED TO EXISTING JOINT OR SAWCUT SUCH THAT A MINIMUM OF 3' SECTION OF CURB WILL BE CONSTRUCTED ADJACENT TO THE NEW DRIVEWAY WING.
 - RESIDENTIAL DRIVEWAY LOCATION SHALL BE A MINIMUM OF 5' FROM THE PROPERTY LINE.
 - RESIDENTIAL DRIVEWAY WIDTH CAN NOT EXCEED 40% OF TOTAL LOT FRONTAGE. THE MAXIMUM RESIDENTIAL DRIVEWAY WIDTH IS 25' FOR TWO CAR GARAGES (MINIMUM LOT FRONTAGE OF 62.5') & 30' FOR THREE CAR GARAGES (MINIMUM LOT FRONTAGE OF 75').
 - 6" OF CRUSHED SURFACING PER WSDOT 9-03.9(3) SHALL BE USED UNDER DRIVEWAY AND SIDEWALK.
 - WHEN CUTTING EXISTING CURB AND GUTTER TO PLACE DRIVEWAY, THE CURB AND GUTTER WILL BE REPLACED TO MATCH EXISTING CURB. FOR THE NEW DRIVEWAY NEW CURB DROP AND GUTTER MUST BE CONSTRUCTED TO CONNECT TO THE EXISTING STREET SECTION. CONTRACTOR IS RESPONSIBLE FOR COMPLETING NEW CURB, DRIVEWAY, AND SIDEWALK TO EXPANSION JOINTS.
 - DRIVEWAY WINGS SHALL HAVE A MAXIMUM SLOPE OF 1:12. IF A 1:12 SLOPE CANNOT BE ACHIEVED WITHIN 15' DUE TO THE SLOPE OF THE ROAD, THE WING LENGTH WILL BE 10' REGARDLESS OF THE RESULTING SLOPE.

RESIDENTIAL/COMMERCIAL DRIVEWAY (WITHOUT PLANTER STRIP)		PLAN #
CITY OF LA CENTER APPROVED	REVISIONS: DATE: DRAWN/DESIGNED:	ST-3
Anthony Pealopes CITY ENGINEER DATE		



PERMIT DRAWINGS

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BELLIKKA APARTMENTS
EAST 7TH STREET
LA CENTER, WASHINGTON

DRAWN: SLD	CHECKED: SLD
DATE: 4/17/20	

REVISIONS:	

STREET DETAILS AND NOTES

C2.10