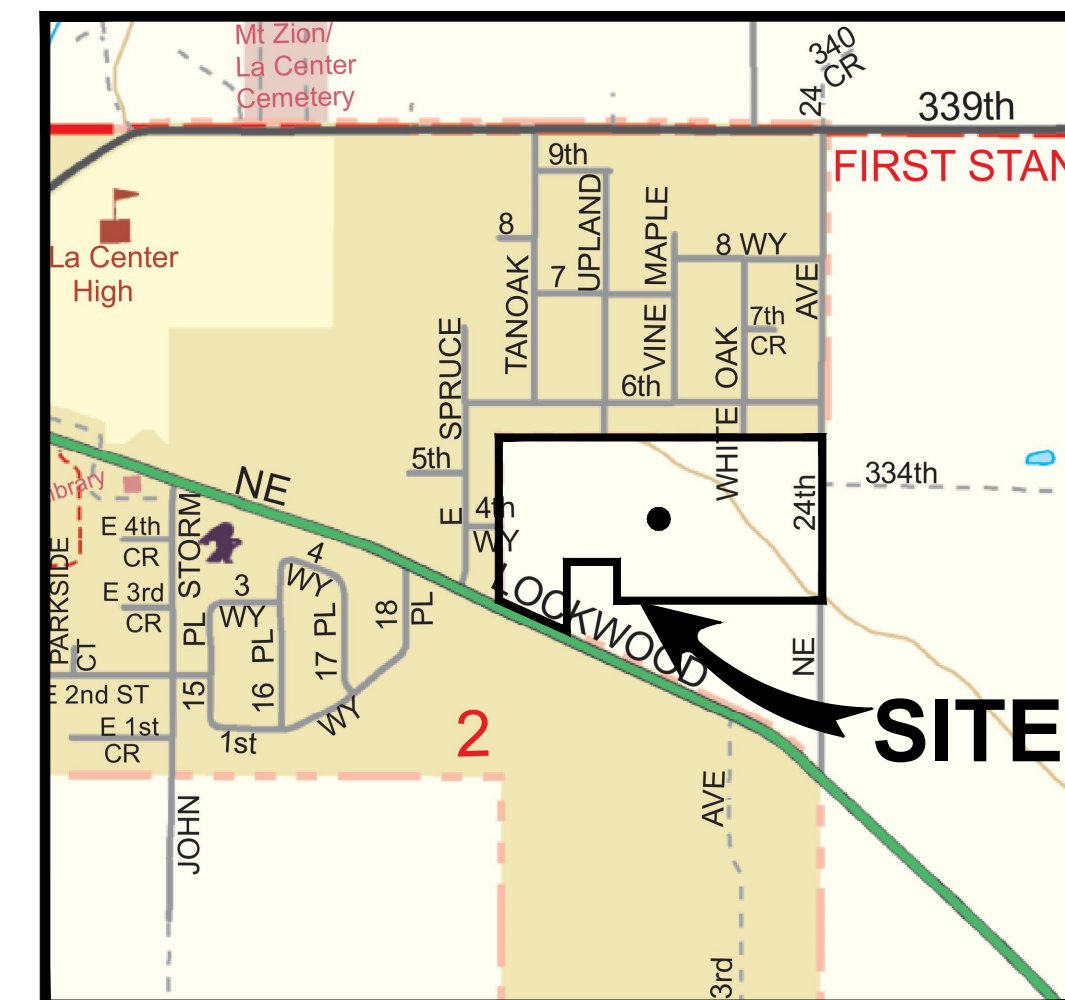


Lockwood Meadows Subdivision

Located in the SW ¼ of the NE ¼ of Section 2, T4N, R1E, W.M.
La Center, Washington



VICINITY MAP
NOT TO SCALE

Sheet Index	
1.	Cover Sheet
2.	Existing Conditions Plan
3.	Preliminary Plat West
4.	Preliminary Plat East
5.	Preliminary Stormwater Plan West
6.	Preliminary Stormwater Plan East
7.	Preliminary Grading & Erosion Control Plan West
8.	Preliminary Grading & Erosion Control Plan East
9.	Miscellaneous Details
10.	Preliminary Lighting Plan West
11.	Preliminary Lighting Plan East
T1.	Preliminary Tree Protection Plan
L1.	Preliminary Landscape & Park Plan
L2.	Landscape Details

PROPOSAL:
The applicant is proposing a 71 lot subdivision in the LDR-7.5 zone. Density transfer is proposed for the wetland on the south end of the site. 90 percent of the proposed parcels average to 7,740 sqft. The other 10 percent of the lots have been reduced to approximately 6,000 sqft. 0.5 acres of usable park area is proposed. The proposed net density is 5du./ac. The minimum allowable net density is 4du./ac. 5 acres of public ROW is proposed to be dedicated to the City of La Center. Street lighting and landscaping will be provided with this preliminary submittal.

Total site area = 871,028 SF (20.00 AC)
ROW Dedication = 215,972 SF (4.96 AC)
Total Acreage = 655,056 SF (15.03 AC)

Tract A,B,C & D to be owned and maintained by home owners association. A blanket easement on Tract D will be provided to the City of La Center for inspection.

Tract B will contain the proposed park area
20,134 SF of proposed park area
16,353 SF of improved park area

SETBACKS:
Front = 20', Side = 7.5', Side Street = 10', Back = 20'

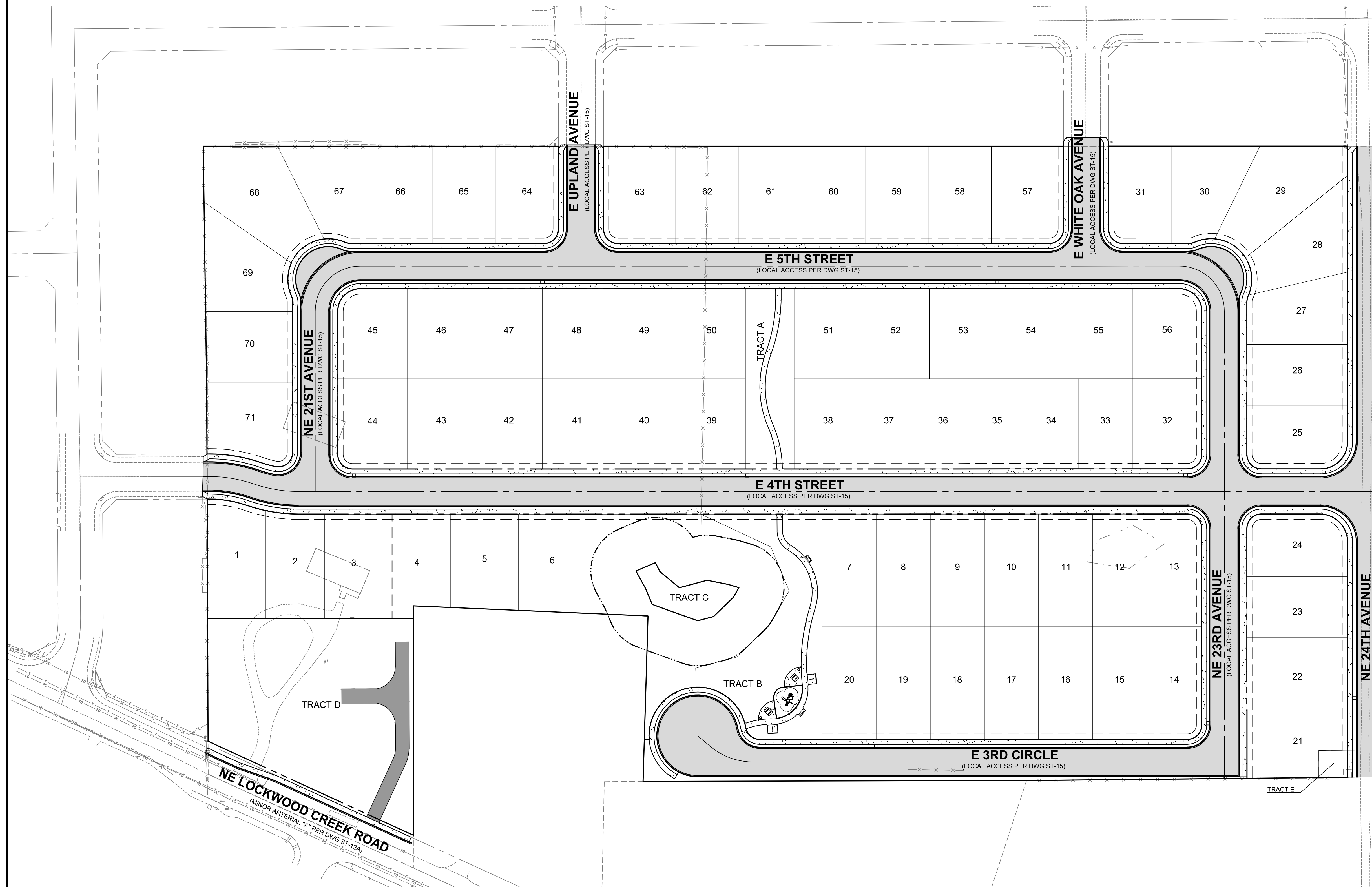
LOT COVERAGE:
Maximum Building Lot Coverage = 35%
Maximum Impervious Surface Area = 50%

Average Building per Lot = 2,666 SF
Average Driveway per Lot = 1,602 SF

Utilities:
Public water and sewer service is available at the site. The public water and sewer purveyors are Clark Public Utilities and the City of La Center respectively.

Stormwater runoff from the site will be treated and routed to a proposed storm facility in the southwest corner of the development.

CRITICAL AREAS:
There are 2 delineated category IV wetlands on site. The slope wetland on the eastern end of the site is proposed to be filled. The other wetland at the low point of the site is proposed to be retained and be included as open space adjacent to the proposed park area in Tract B. There is an Oregon White Oak located on Lockwood Creek Road that may need to be impacted due to the proposed frontage improvements. There are no onsite areas within the designated 100 year floodplain, landslide hazards, or known significant historic resources on site.



GENERAL NOTES

OWNER/APPLICANT:
Susanna S Hung Trust
710 Columbia St #414
Vancouver, WA 98660
(360) 450-8154
sshung_2000@yahoo.com

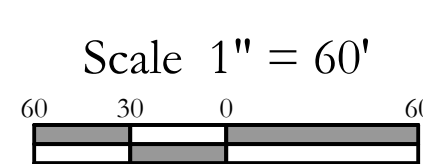
CIVIL ENGINEER:
PLS Engineering
Contact: Travis Johnson, PE
604 W Evergreen Blvd
Vancouver, WA 98660
PH: (360) 944-6519
pm@plsengineering.com

SITE ADDRESS:
2000 NW Lockwood Creek Rd
La Center, WA 98629

Parcel #: 209113000

Lot Size: 20.0 acres

Hatching Legend	
	Proposed Asphalt Concrete
	Proposed Cement Concrete
	Proposed Gravel



Cover Sheet For:

Revisions	
1	
2	
3	
4	
5	
6	

Project No.	3094
SCALE:	H: 1" = 60' V: N/A
DESIGNED BY:	JMW
DRAFTED BY:	JSV
REVIEWED BY:	TGJ

GENERAL NOTES

OWNER/APPLICANT:
 Susanna S Hung Trust
 710 Columbia St #414
 Vancouver, WA 98660
 (360) 450-8154
 sshung_2000@yahoo.com

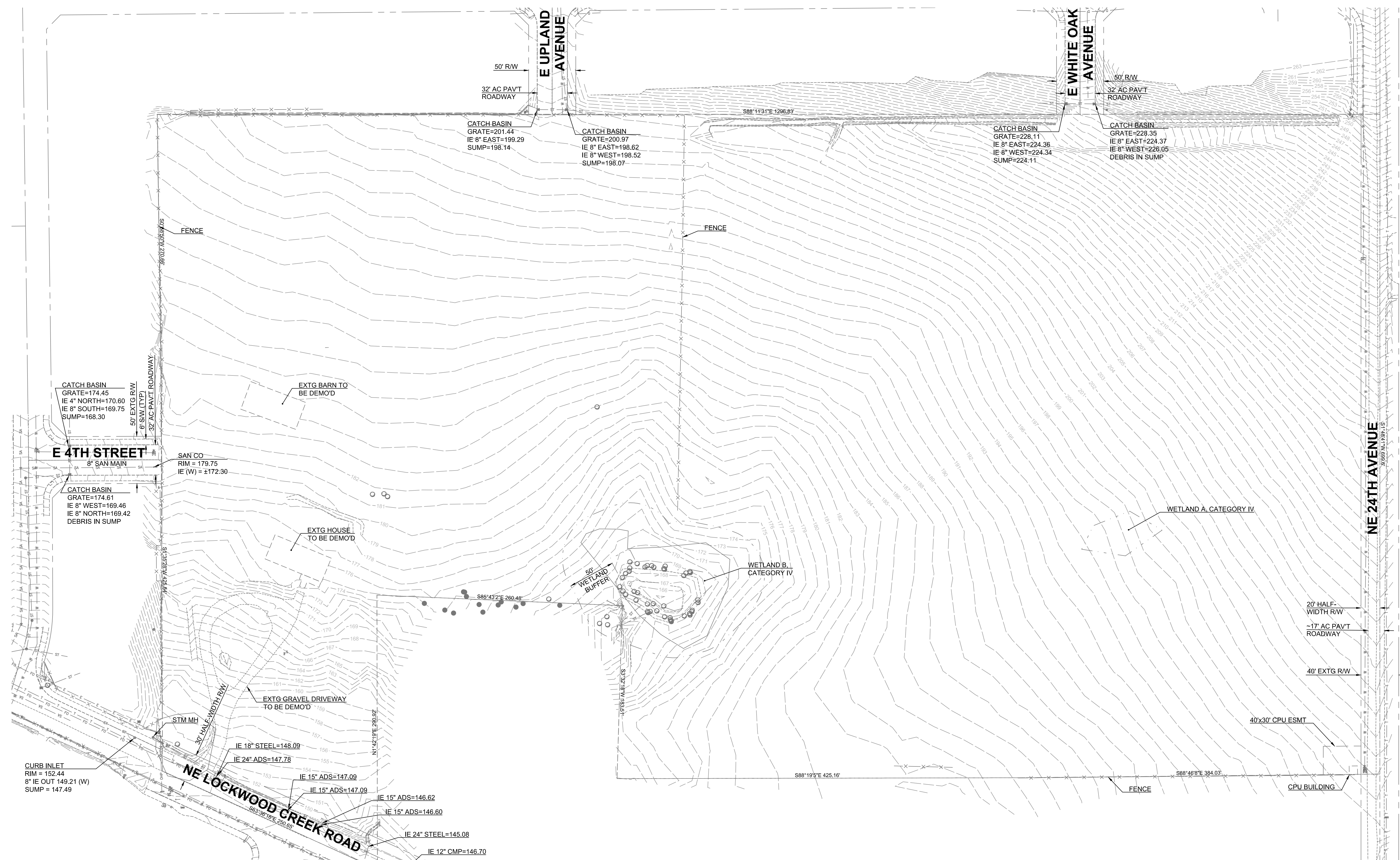
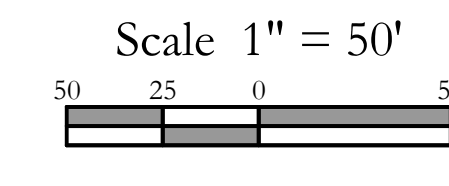
SITE ADDRESS:
 2000 NW Lockwood Creek Rd
 La Center, WA 98629

Parcel #: 209113000
Lot Size: 20.0 acres

CIVIL ENGINEER:
 PLS Engineering
 Contact: Travis Johnson, PE
 604 W Evergreen Blvd
 Vancouver, WA 98660
 PH: (360) 944-6519
 pm@plsengineering.com

EXISTING CONDITIONS LEGEND

	STORM SEWER LINE		CATCH BASIN		UTILITY POLE
	OVER HEAD POWER LINE		STORM MANHOLE		EXTG WELL
	WATER LINE LOCATE		CURB INLET		TEL PEDESTAL
	SANITARY SEWER PIPE		FIRE HYDRANT		GUY WIRE
	TELECOMM UTILITY		WATER VALVE		MAILBOX
	UNDERGROUND ELECTRIC		SAN SEWER MH		EXTG TREES
	FENCE				
	CENTERLINE				
	RIGHT OF WAY				
	EDGE OF PAVEMENT				
	CURB LINE				
	EDGE OF GRAVEL				
	SIDEWALK				
	PAVEMENT STRIPING				
	LOT LINE				
	PROPERTY BOUNDARY				
	CONTOUR LINE				



Existing Conditions Plan For:

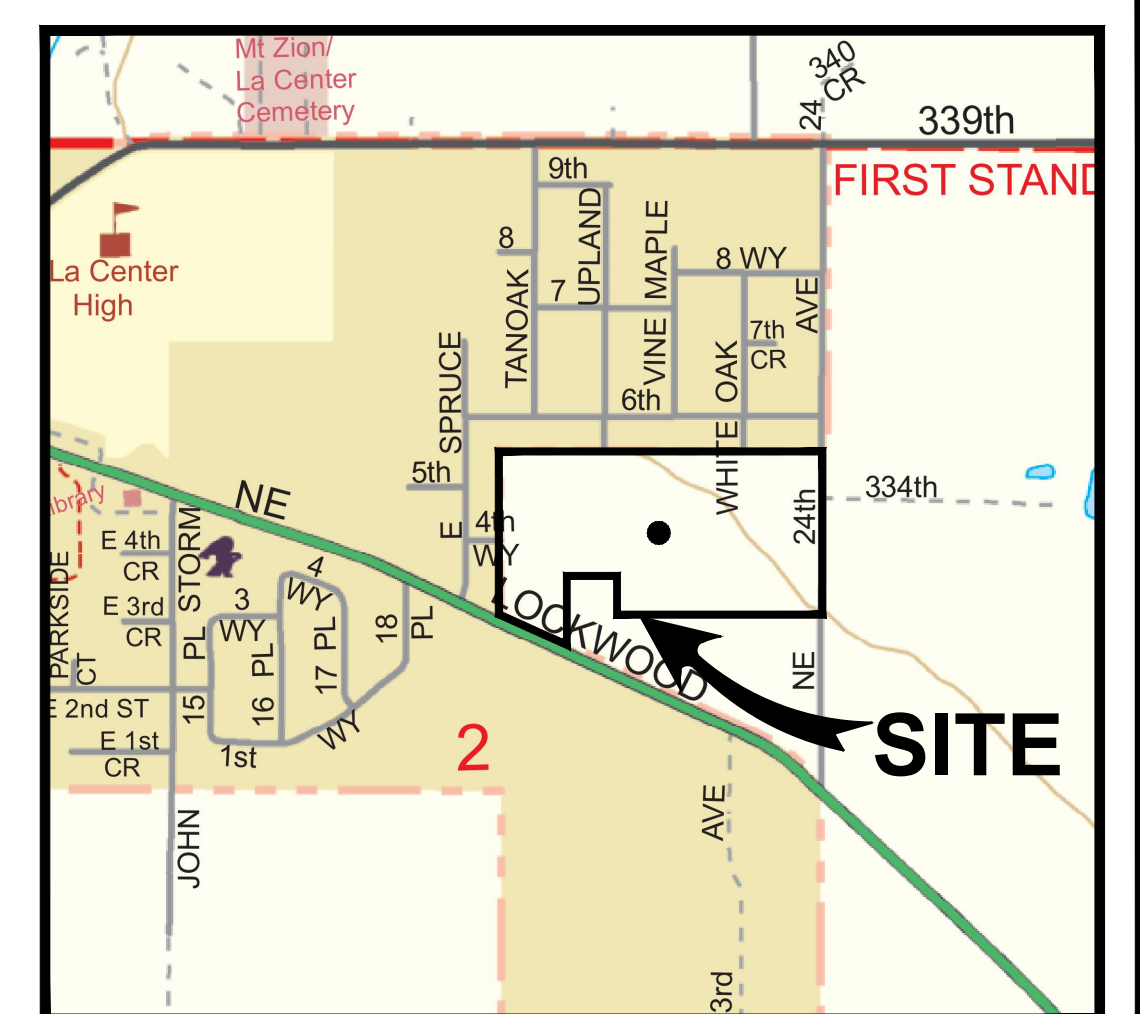
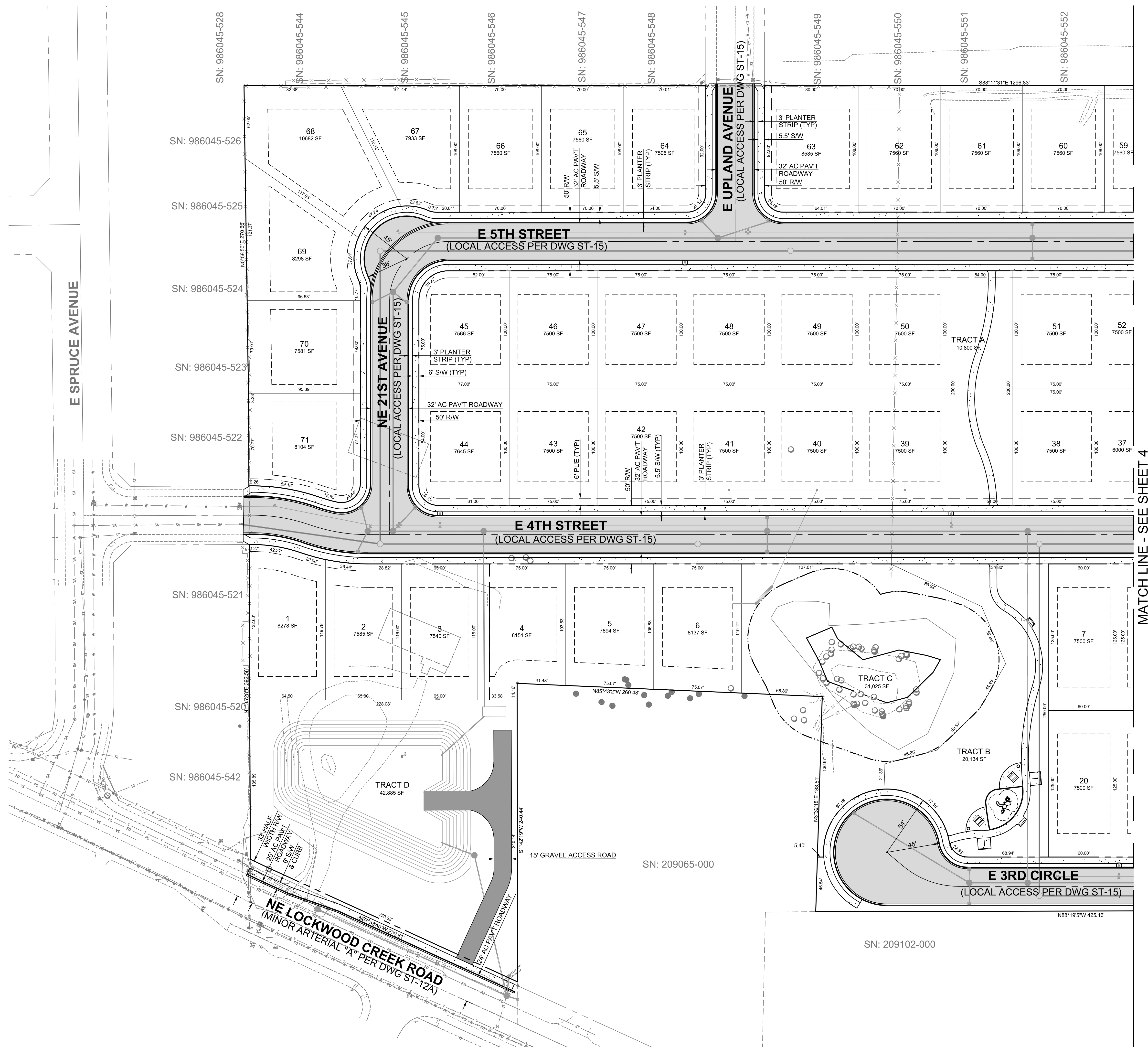
Lockwood Meadows Subdivision

A Subdivision Located In The City Of La Center, Washington

Engineering - Surveying - Planning | 604 W. Evergreen Blvd., Vancouver, WA 98660 | PH: (360) 944-6519 | Fax: (360) 944-6539

Revisions	
No.	Description
1	
2	
3	
4	
5	
6	

Project No.	3094
SCALE:	H: 1" = 50' V: N/A
DESIGNED BY:	JMW
DRAFTED BY:	JSV
REVIEWED BY:	TGJ



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

OWNER/APPLICANT:
Susanna S Hung Trust
710 Columbia St #414
Vancouver, WA 98660
(360) 450-8154
sshung_2000@yahoo.com

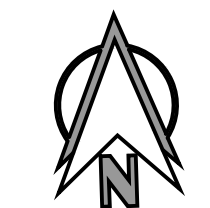
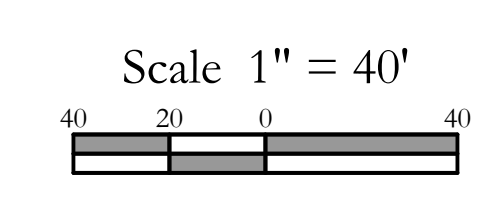
CIVIL ENGINEER:
PLS Engineering
Contact: Travis Johnson, PE
604 W Evergreen Blvd
Vancouver, WA 98660
PH: (360) 944-6519
pm@plsengineering.com

SITE ADDRESS:
2000 NW Lockwood Creek Rd
La Center, WA 98629

Parcel #: 209113000

Lot Size: 20.0 acres

Hatching Legend	
	Proposed Asphalt Concrete
	Proposed Cement Concrete
	Proposed Gravel



MATCH LINE - SEE SHEET 4

Preliminary Plat West For:

Lockwood Meadows Subdivision

A Subdivision Located In The City Of La Center, Washington

Revisions

1	2	3	4	5	6

Project No. 3094
SCALE: H: 1" = 40'
V: N/A
DESIGNED BY: JMW
DRAFTED BY: JSV
REVIEWED BY: TGT



MATCH LINE - SEE SHEET 3

GENERAL NOTES

OWNER/APPLICANT:
Susanna S Hung Trust
710 Columbia St #414
Vancouver, WA 98660
(360) 450-8154
sshung_2000@yahoo.com

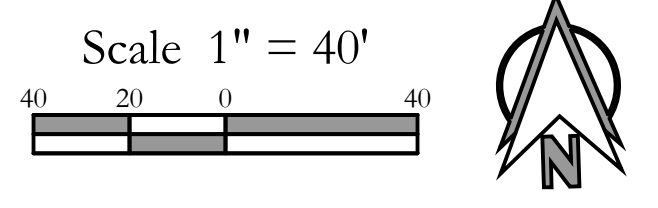
CIVIL ENGINEER:
PLS Engineering
Contact: Travis Johnson, PE
604 W Evergreen Blvd
Vancouver, WA 98660
PH: (360) 944-6519
pm@plsengineering.com

SITE ADDRESS:
2000 NW Lockwood Creek Rd
La Center, WA 98629

Parcel #: 209113000

Lot Size: 20.0 acres

Hatching Legend	
	Proposed Asphalt Concrete
	Proposed Cement Concrete
	Proposed Gravel



Preliminary Plat East For:

Revisions	
No.	Description
1	
2	
3	
4	
5	
6	

Project No.	3094
SCALE:	H: 1" = 40' V: N/A
DESIGNED BY:	JMW
DRAFTED BY:	JSV
REVIEWED BY:	TGJ

4

11

Lockwood Meadows Subdivision

A Subdivision Located In The City Of La Center, Washington

PLS ENGINEERING

Engineering - Surveying - Planning

604 W. Evergreen Blvd., Vancouver, WA 98660

PH: (360) 944-6519 | Fax: (360) 944-6539

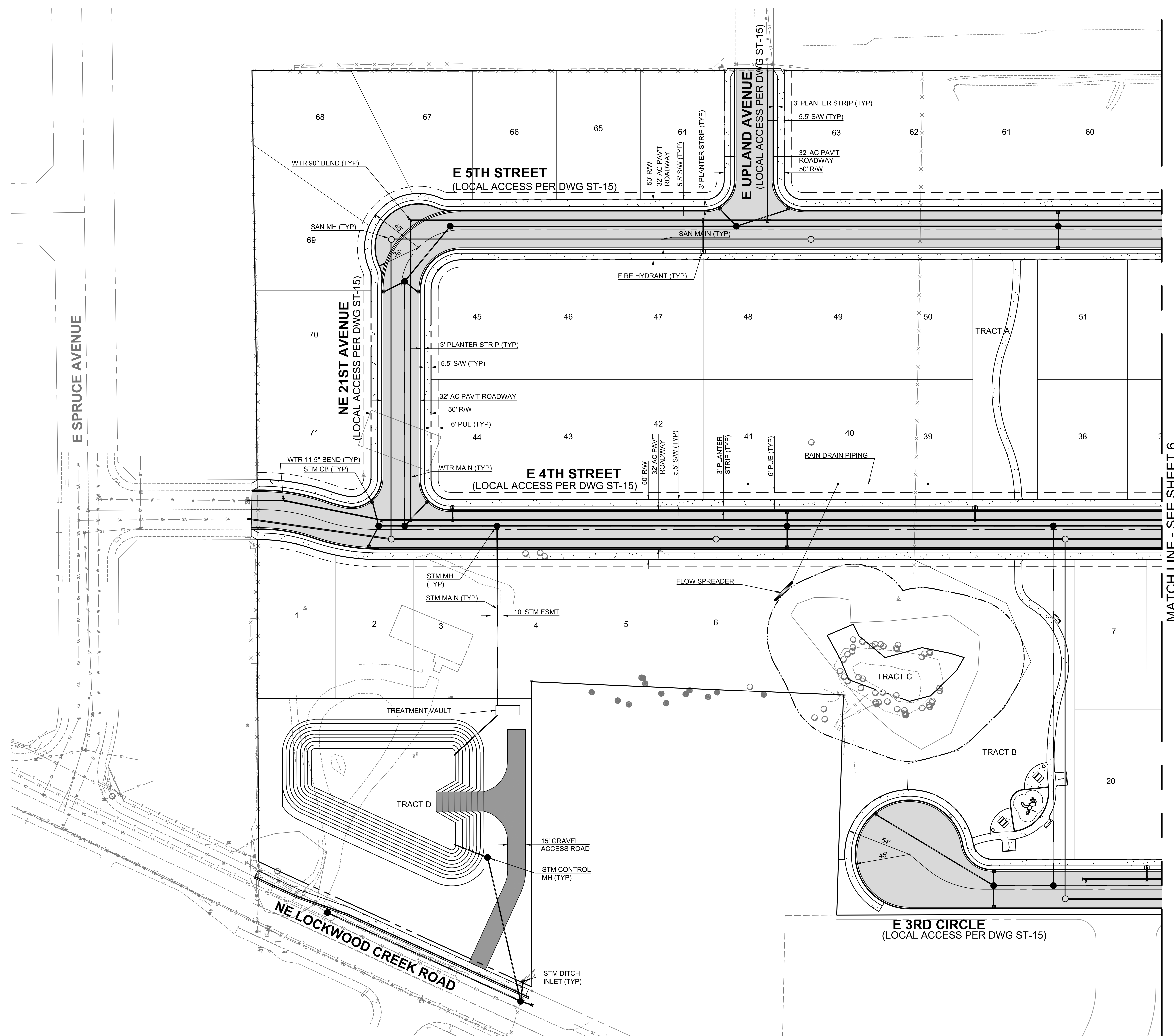
SN: 209082-000 SN: 209063-000

SN: 209088-000

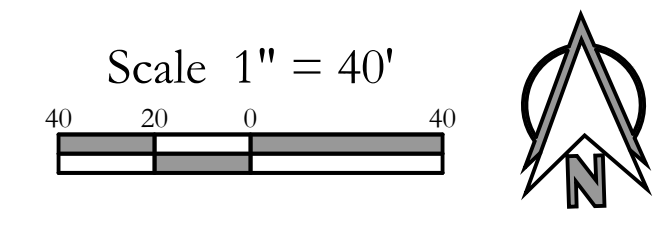
SN: 209089-000

SN: 209102-000

SN: 209102-000



Hatching Legend	
	Proposed Asphalt Concrete
	Proposed Cement Concrete
	Proposed Gravel



Preliminary Stormwater Plan West For:

Lockwood Meadows Subdivision

A Subdivision Located In The City Of La Center, Washington

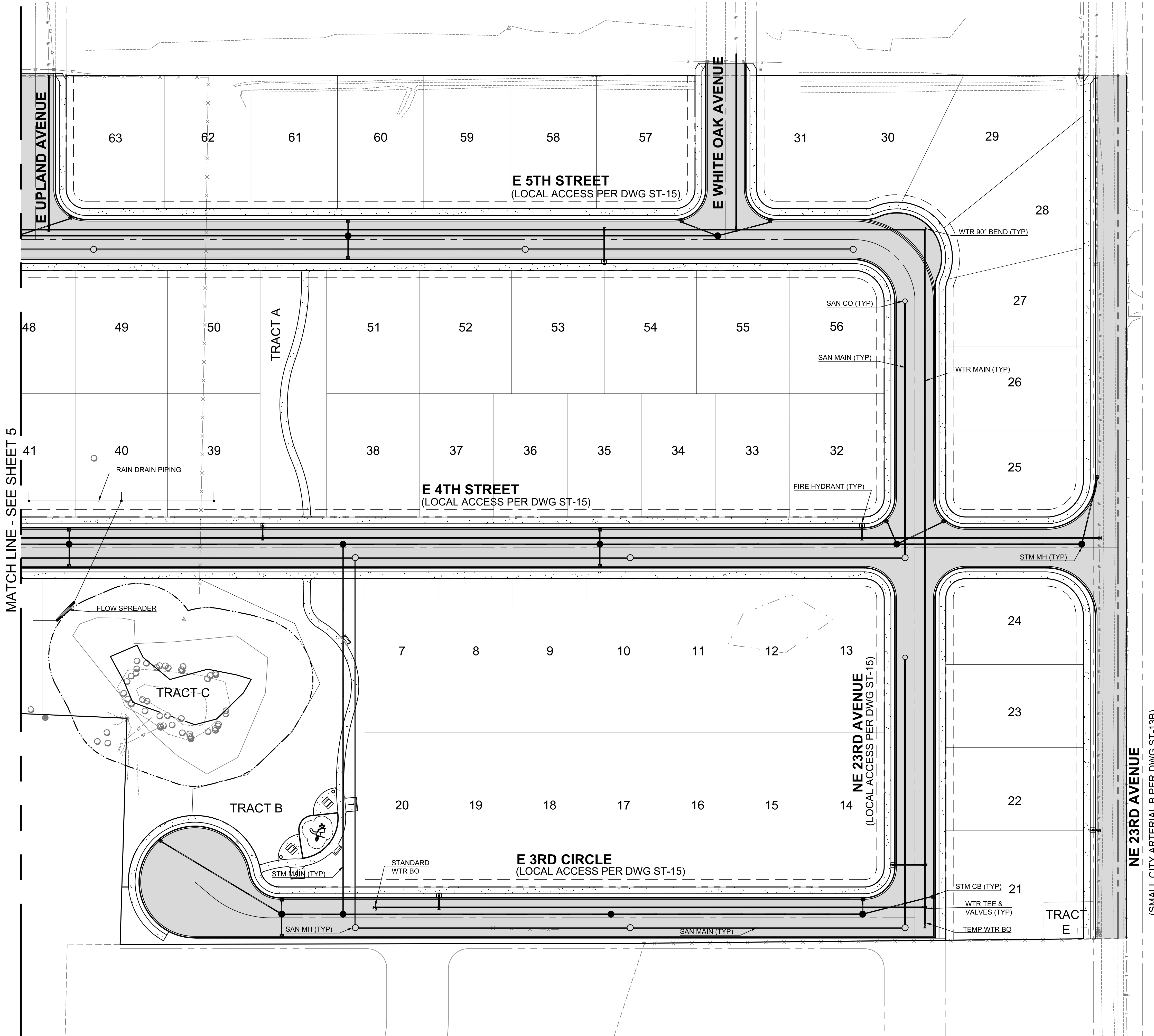
Engineering - Surveying - Planning | 604 W. Evergreen Blvd., Vancouver, WA 98660 | PH (360) 944-6519 | Fax (360) 944-6539

PLS ENGINEERING

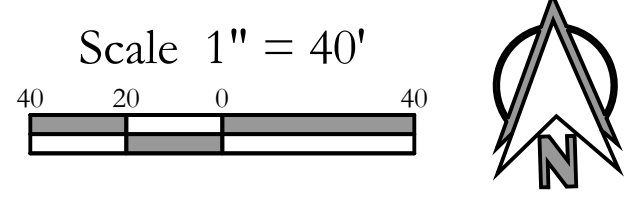
Revisions

No.	Description
1	
2	
3	
4	
5	
6	

Project No.	3094
SCALE:	H: 1" = 40' V: N/A
DESIGNED BY:	JMW
DRAFTED BY:	JSV
REVIEWED BY:	TGJ



Hatching Legend	
	Proposed Asphalt Concrete
	Proposed Cement Concrete
	Proposed Gravel



Preliminary Stormwater Plan East For:

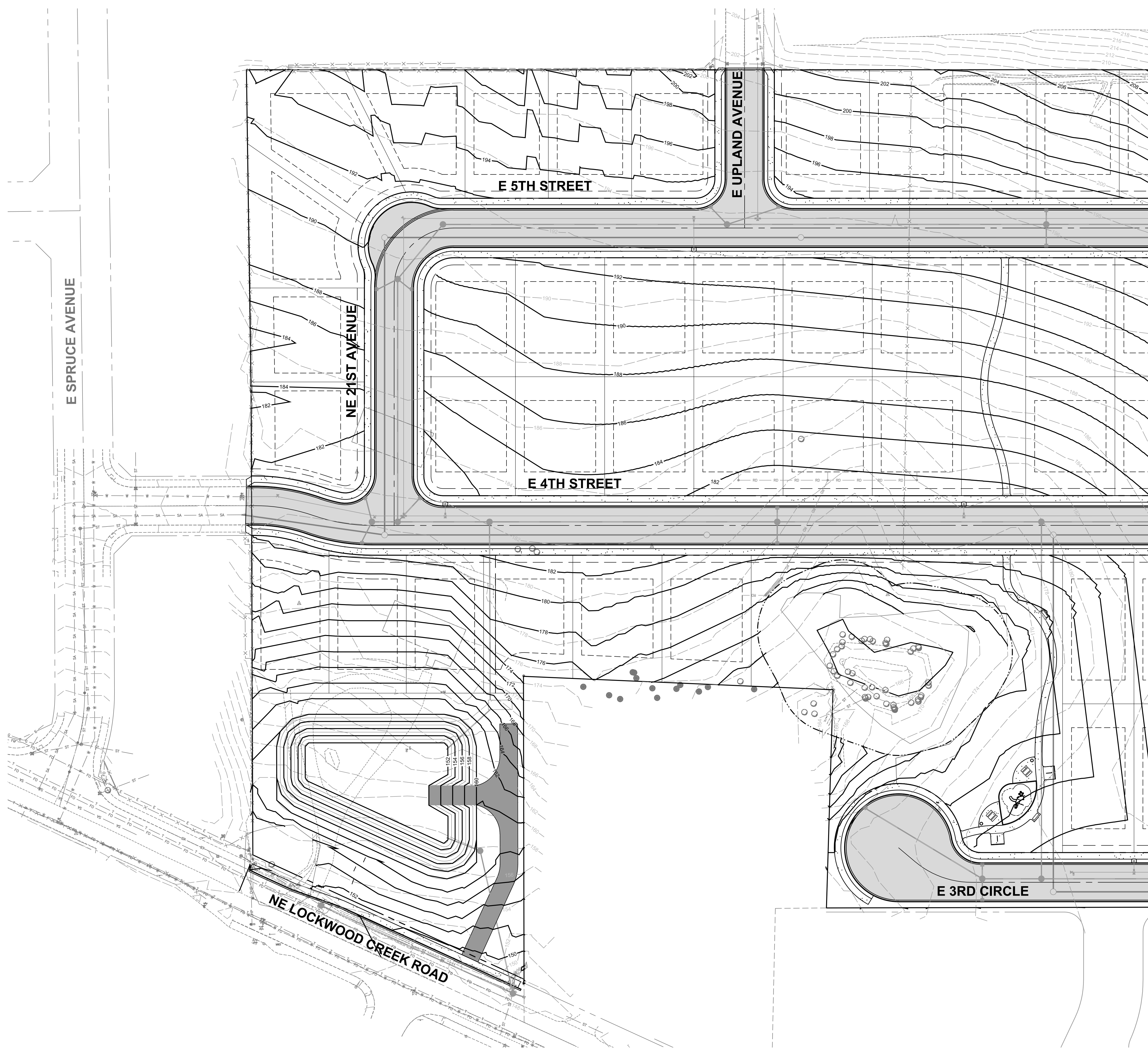
Lockwood Meadows Subdivision

A Subdivision Located In The City Of La Center, Washington




Engineering - Surveying - Planning | 604 W. Evergreen Blvd., Vancouver, WA 98660 | PH (360) 944-6519 | Fax (360) 944-6539

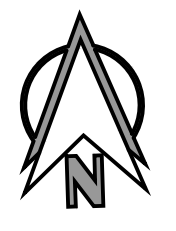
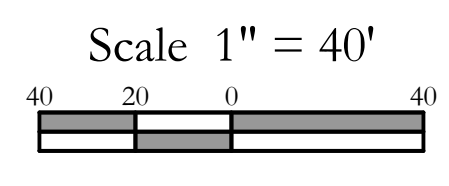
Revisions	
1	
2	
3	
4	
5	
6	

Project No.	3094
SCALE:	H: 1" = 40' V: N/A
DESIGNED BY:	JMW
DRAFTED BY:	JSV
REVIEWED BY:	TGJ



MATCH LINE - SEE SHEET 8

Hatching Legend	
	Proposed Asphalt Concrete
	Proposed Cement Concrete
	Proposed Gravel



Revisions	
1	
2	
3	
4	
5	
6	

Project No.	3094
SCALE:	H: 1" = 40' V: N/A
DESIGNED BY:	JMW
DRAFTED BY:	JSV
REVIEWED BY:	TGJ

Preliminary Grading & Erosion Control Plan West For:

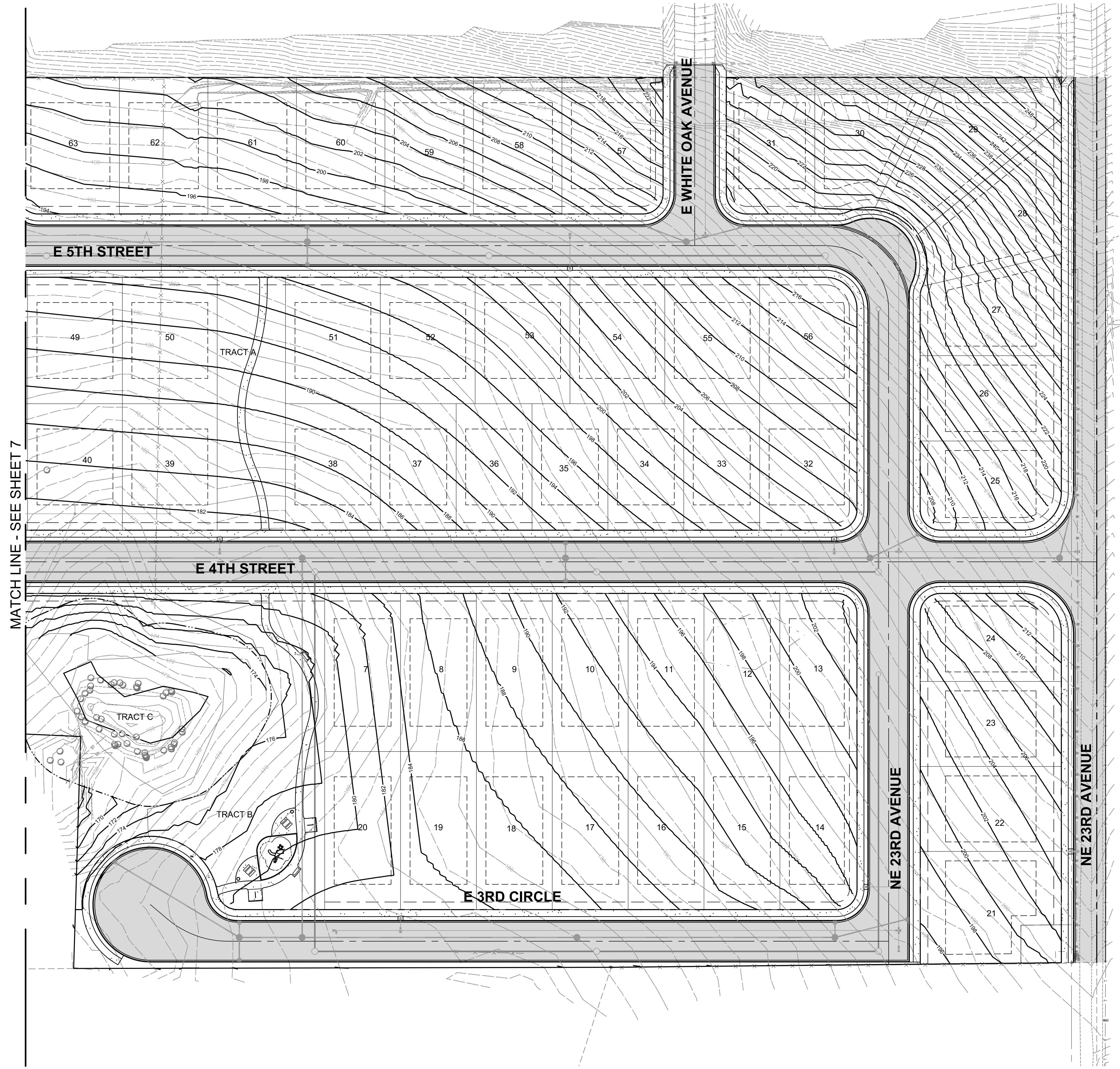
Lockwood Meadows Subdivision

A Subdivision Located In The City Of La Center, Washington

Engineering - Surveying - Planning | 604 W. Evergreen Blvd., Vancouver, WA 98660 | PH (360) 944-6519 | Fax (360) 944-6539

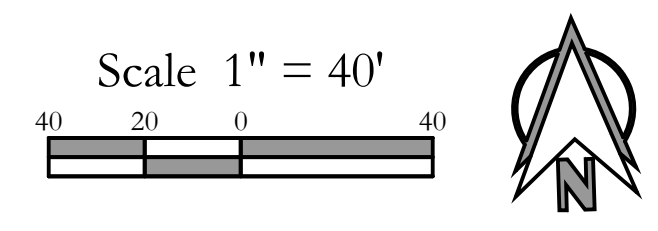
PLS

ENGINEERING



MATCH LINE - SEE SHEET 7

Hatching Legend	
	Proposed Asphalt Concrete
	Proposed Cement Concrete
	Proposed Gravel



Preliminary Grading & Erosion Control Plan East For:

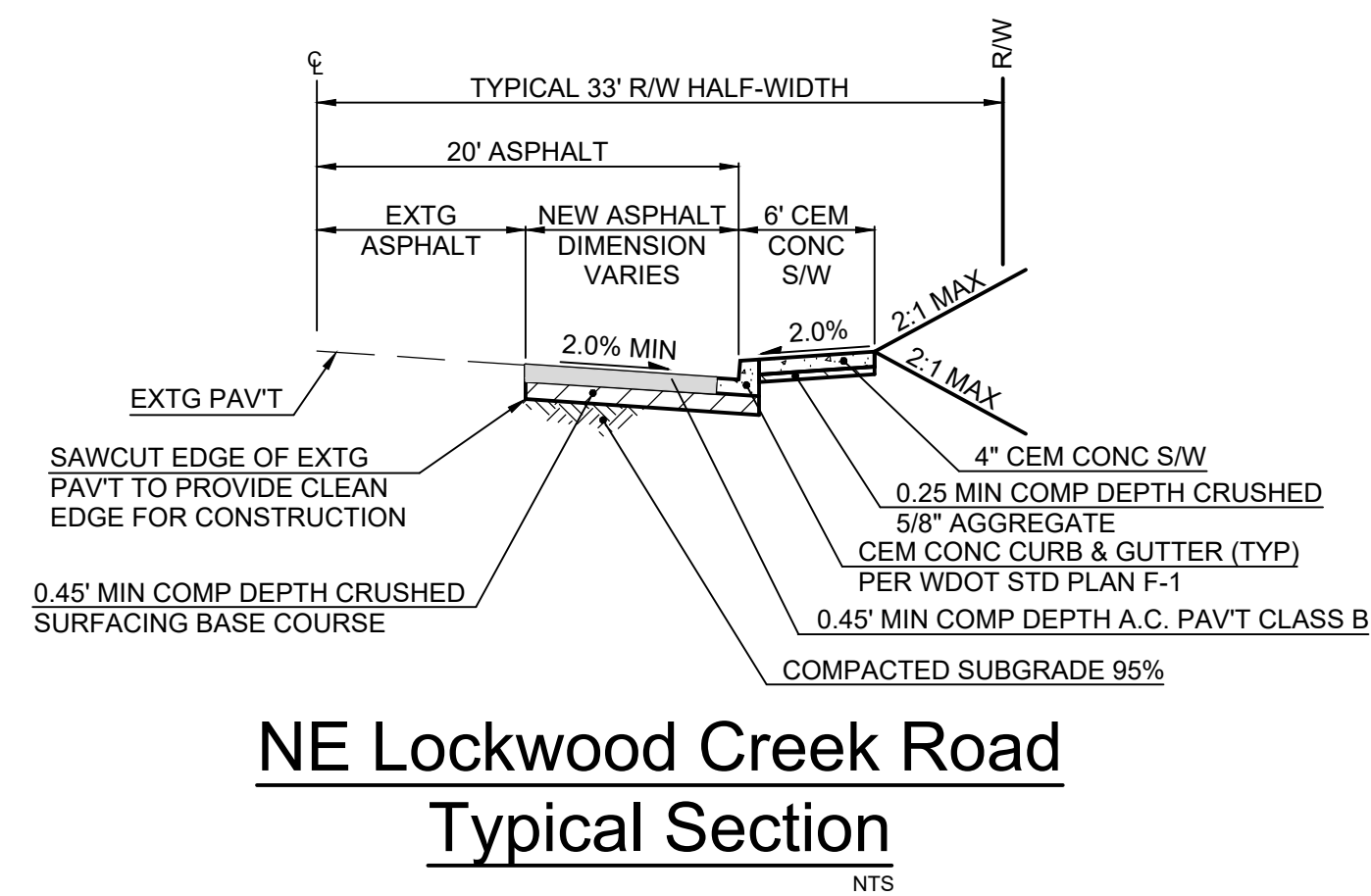
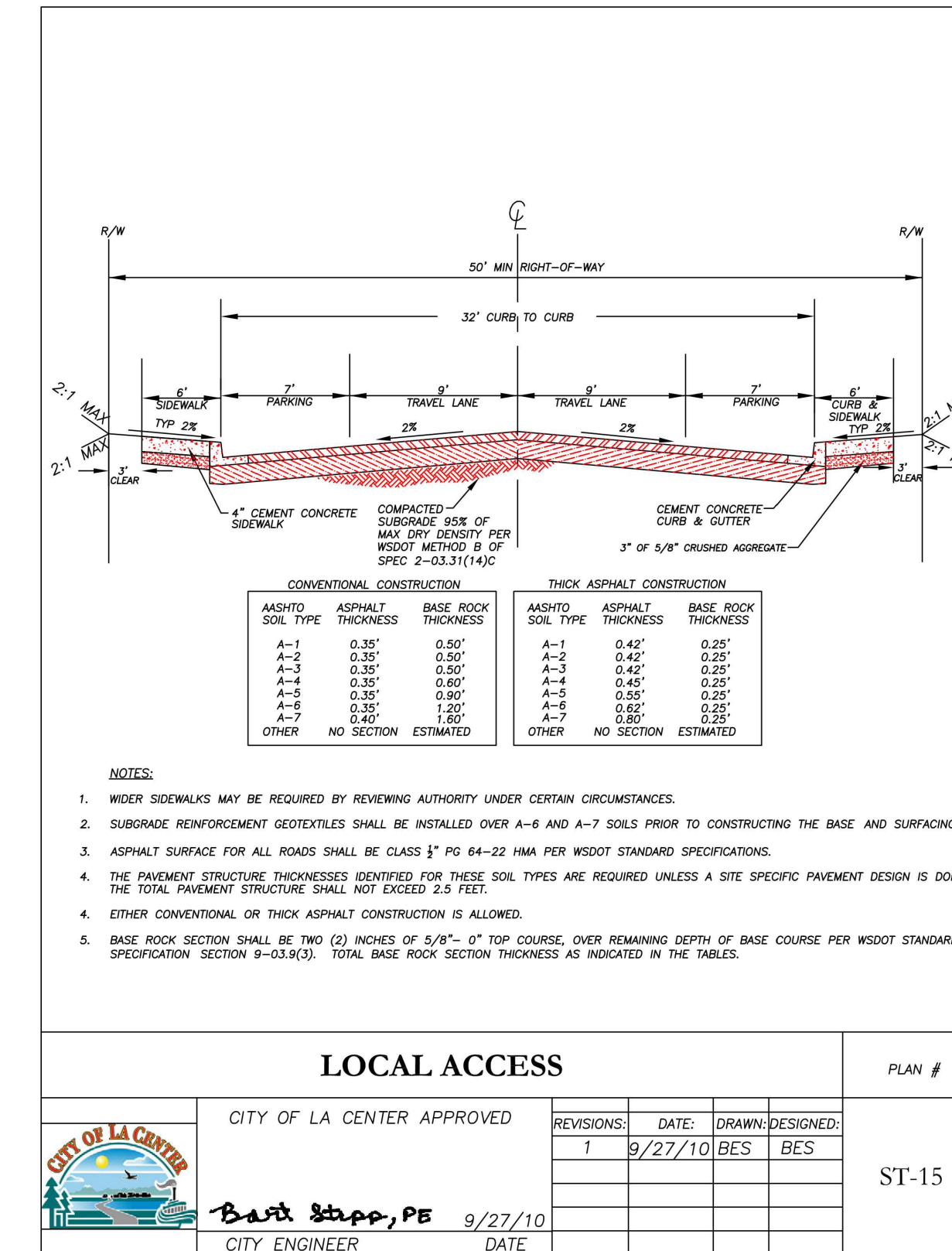
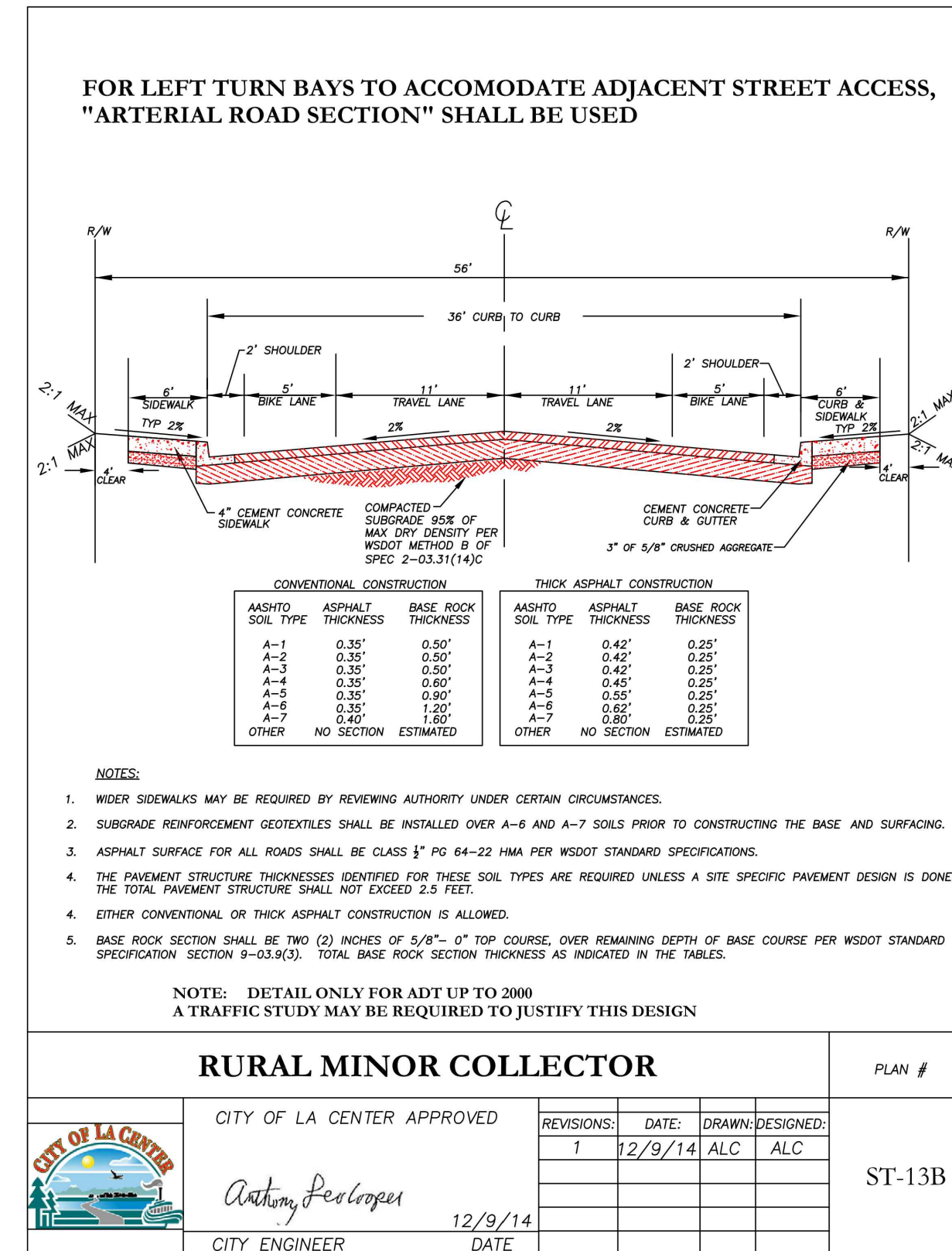
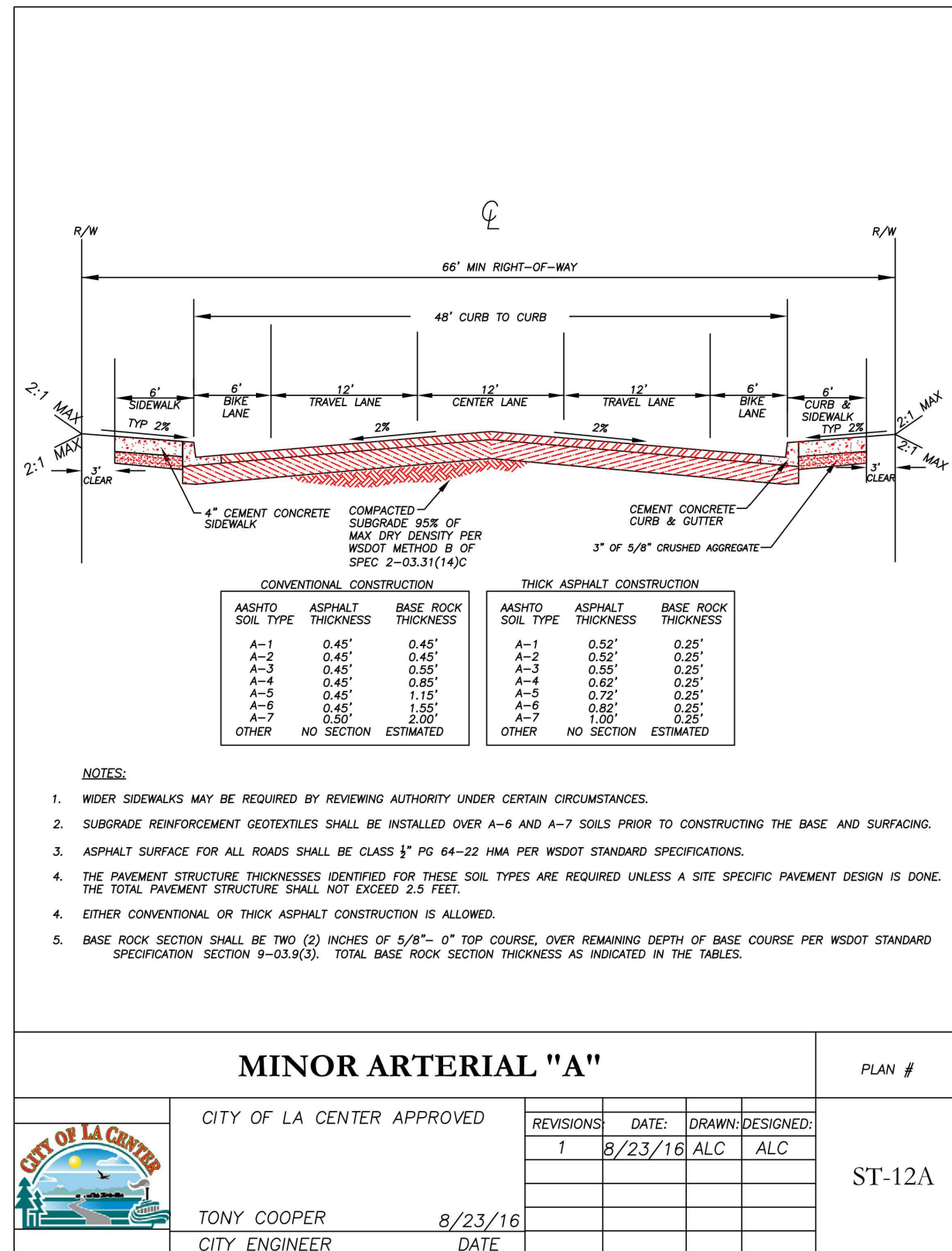
Lockwood Meadows Subdivision

A Subdivision Located In The City Of La Center, Washington

Engineering - Surveying - Planning 604 W. Evergreen Blvd., Vancouver, WA 98660 PH (360) 944-6519 Fax (360) 944-6539

Revisions	
1	
2	
3	
4	
5	
6	

Project No.	3094
SCALE:	H: 1" = 40' V: N/A
DESIGNED BY:	JMW
DRAFTED BY:	JSV
REVIEWED BY:	TGJ



Miscellaneous Details For:

Revisions	1	2	3	4	5	6

Project No. 3094
SCALE: H: N/A V: N/A
DESIGNED BY: JMW
DRAFTED BY: JSV
REVIEWED BY: TGT

9
11



VICINITY MAP
NOT TO SCALE



MATCH LINE - SEE SHEET 11

WFCL2
Utility Washington Series Luminaire
Full Cutoff LED2

Catalog Number	WFCL2-P20-30K-AS-BK-FC3-S-P7-PCLC-HSS-NLX1	
Notes		Type

Mechanical

- Heavy grade A360 cast aluminum (<1% copper)
- Tool-less access with a spring-loaded latch
- Hidden hinge door allowing the door to swing open and remain open
- Optional internal or external NEMA twist lock photocell receptacle. Housing contains a tempered glass window to allow light to reach the cell for internal versions.
- Mount to slip-fitter that will accept 3" high by 2-7/8" to 3-1/8" O.D. pole tenon
- Decorative top cover contains stainless steel hinge which secures entry the LED optical chamber
- Polyester powder coat paint to ensure maximum durability
- Rigorous multi-stage pre-treating and painting process yields a finish that achieves a scribe creepage rating of 8 (per ASTM D1654) after over 5,000 hours exposure to salt fog chamber (operated per ASTM B117) on standard and RAL finish options.
- RAL (RALXXXXXX) paint colors are Super Durable Corrosion Resistant, 80% gloss.

Electrical

- All surge protection meets ANSI/IEEE C62.41.2 10kV/10kA.
- Standard SPD meets 10kV/5kA per ANSI C136.2-2015.
- 20kV Option meets 20kV/10kA per ANSI C136.2-2015.
- Quick disconnect connectors for ease of installation and maintenance.
- Three pole terminal block is standard, with optional prewired leads for ease of installation
- LED drivers meet maximum total harmonic distortion (THD) of 20%, >0.90 Power Factor and are RoHS compliant.
- Maximum operating temperature is -40°C. Electronic driver has an estimated minimum life of 100,000 hours at 25°C.

Optical

- IP65 rated optical compartment
- LED circuit board located in the top cover
- Asymmetric or Symmetric full cutoff distributions
- 2700K, 3000K, 4000K, and 5000K CCT
- 70CR Standard

Control Options

- Field Adjustable Output (AO) module - On-board device that adjusts the light output and input wattage to meet site specific requirements. The AO module is preset at the factory to position number 8 (see chart).
- Factory Programmed Driver (FPD) - Customize lumen output prior to manufacturing and still enables control leads so other options can also be used
- Long Life Photocells (PCLL) - 20 Year Life
- 3 and 7 pin photocell receptacles internally (PK3, PK7) or externally (PSE, PSE7) mounted

Testing/Compliance

- UL 1598 - Wet Locations Safety Listing
- Suitable for ambient temperatures -40°C to 40°C

Manufacturing

- Manufactured in Crawfordsville, Indiana, ABRA compliant
- 100% electrical testing on all luminaires before shipment
- Ten (10) years minimum experience in manufacturing LED based products

Buy American

This product is assembled in the USA and meets the Buy American (BA) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/resources/buy-american for additional information.

Warranty

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/warranty-terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

Dimensional Data

MANUFACTURER AND CATALOG NUMBER	SYMBOL	QTY	WATTAGE
LITHONIA DSX1 P2 40K T4M MVOLT	●	37	45

Hatching Legend

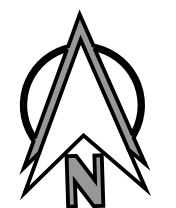
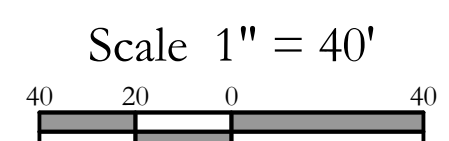
- Proposed Asphalt Concrete
- Proposed Cement Concrete
- Proposed Gravel

Scale 1" = 40'

MANUFACTURER AND CATALOG NUMBER	SYMBOL	QTY	WATTAGE
LITHONIA DSX1 P2 40K T4M MVOLT	●	37	45

Hatching Legend

- Proposed Asphalt Concrete
- Proposed Cement Concrete
- Proposed Gravel



Preliminary Lighting Plan West For:

Lockwood Meadows Subdivision

A Subdivision Located in The City Of La Center, Washington

Engineering - Surveying - Planning 604 W. Evergreen Blvd., Vancouver, WA 98660 PH: (360) 944-6519 FAX: (360) 944-6539

Revisions	No.	Date	Description
	1		
	2		
	3		
	4		
	5		
	6		

Project No. 3094

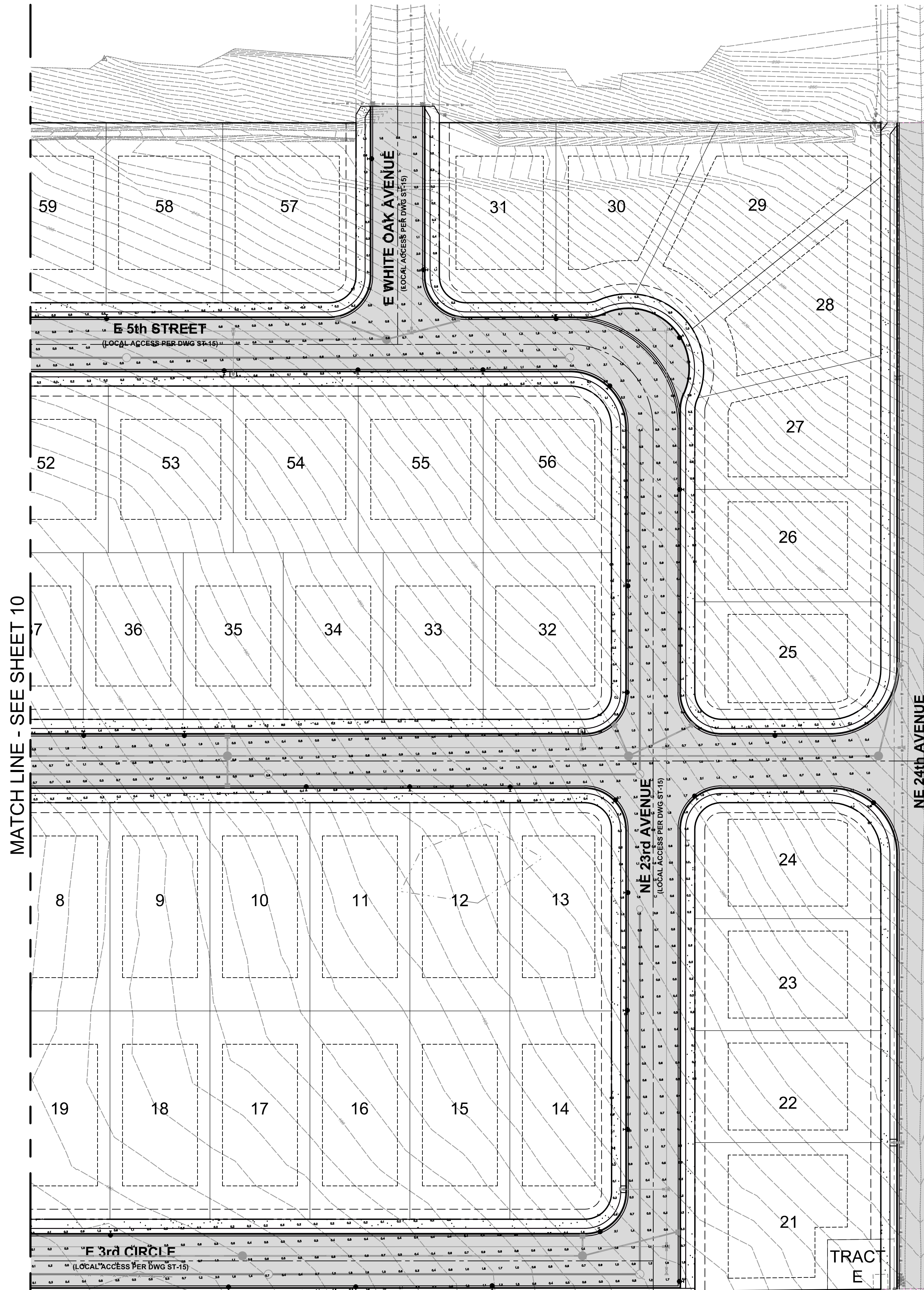
SCALE: H: 1" = 40'
V: N/A

DESIGNED BY: JMW
DRAFTED BY: JSV
REVIEWED BY: TGG

10

11

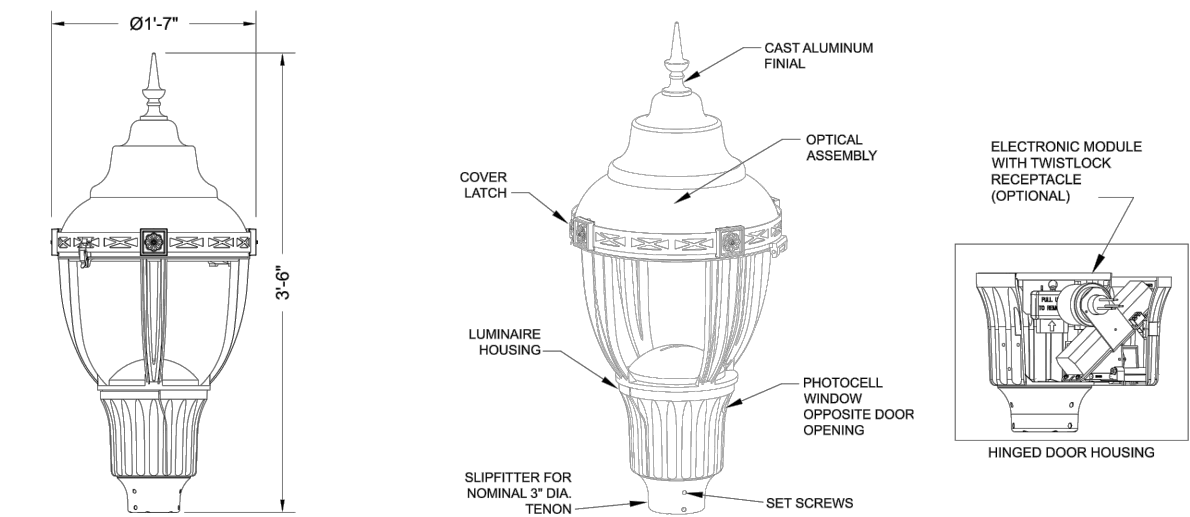
MATCH LINE - SEE SHEET 10



WFCL2 Utility Washington Series Luminaire Full Cutoff LED2

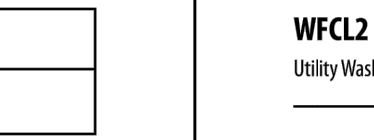


Dimensional Data



Maximum Weight: 57 lbs
Maximum Effective Projected Area: 1.7 sq. ft.

Holophane | 3825 Columbus Rd., Granville, OH 43023 | Phone: 866-HOLOPHANE | www.holophane.com
© 2018-2021 Acuity Brands Lighting, Inc. All rights reserved. Rev. 10/18/21. Specifications subject to change without notice.



WFCL2 Utility Washington Series Luminaire Full Cutoff LED2

ORDERING INFORMATION

Table with columns: Series, Led performance package, LED Color Temperature, Voltage, Optics, Housing Color, and Finish. Example: WFCL2 P20 30K AS GN L2 N P37

Options: Option Compatibility Matrix on page 2 of 4

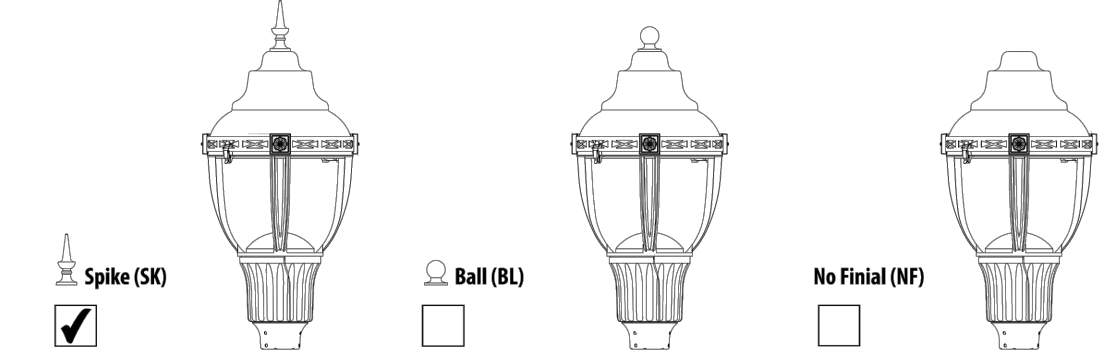
Options matrix table with columns for AO, FPFX, PFI, PFD, PCLL, PFA, and PRE, listing various configuration options.

Accessories: Order as separate catalog number

Table of accessories including C228531, C22855 D3, SPOPLUGN, and SPOPLUGN-48.

FINAL INFORMATION

Mark Appropriate Box for Final Options



Holophane | 3825 Columbus Rd., Granville, OH 43023 | Phone: 866-HOLOPHANE | www.holophane.com
© 2018-2021 Acuity Brands Lighting, Inc. All rights reserved. Rev. 10/18/21. Specifications subject to change without notice.

WFCL2 Utility Washington Series Luminaire Full Cutoff LED2

OPTIONS MATRIX

Options matrix table with columns for Mounting, LED Performance Package, Voltage, Finish, and Compatible Options, listing various configurations.

Y = Valid Option Combination
N = Combination Not Available

LUMEN AMBIENT TEMPERATURE (LAT) MULTIPLIERS

Table showing lumen ambient temperature multipliers for ambient temperatures from 0 to 40 degrees Celsius.

PROJECTED LED LUMEN MAINTENANCE

Data references the anticipated performance projections for the platform noted in 24C ambient, based on 6,000 hours of ED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11). To calculate Lf, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Table showing projected LED lumen maintenance factors for different packages and hours.

Holophane | 3825 Columbus Rd., Granville, OH 43023 | Phone: 866-HOLOPHANE | www.holophane.com
© 2018-2021 Acuity Brands Lighting, Inc. All rights reserved. Rev. 10/18/21. Specifications subject to change without notice.

WFCL2 Utility Washington Series Luminaire Full Cutoff LED2

PERFORMANCE DATA

Performance data table with columns for LED Package, Distribution, System/Watts, Lumens, and LPW for various configurations.

FPDXX DATA OPTIONS

FPDXX data options table showing wattage and lumens for different packages.

FPDXX data options table showing wattage and lumens for different packages.

FPDXX data options table showing wattage and lumens for different packages.

FPDXX data options table showing wattage and lumens for different packages.

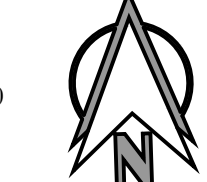
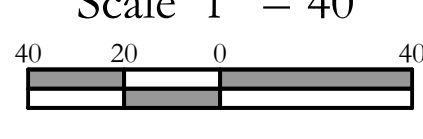
Holophane | 3825 Columbus Rd., Granville, OH 43023 | Phone: 866-HOLOPHANE | www.holophane.com
© 2018-2021 Acuity Brands Lighting, Inc. All rights reserved. Rev. 10/18/21. Specifications subject to change without notice.

Table for Manufacturer and Catalog Number, Symbol, Qty, and Wattage: HOLOPHANE WFCL2 P20 30K AS BK FC3 S P7 PCLL HSS NL1X1, 30, 45.

Hatching Legend

Hatching legend table listing Proposed Asphalt Concrete, Proposed Cement Concrete, and Proposed Gravel with corresponding symbols.

Scale 1" = 40'



Preliminary Lighting Plan East For:

Lockwood Meadows Subdivision

A Subdivision Located in The City Of La Center, Washington

Engineering - Surveying - Planning | 604 W. Evergreen Blvd., Vancouver, WA 98660 | PH: (360) 944-6519 | Fax: (360) 944-6539

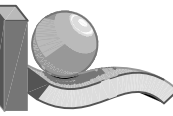
Revisions

Revisions table with columns for revision number, description, and date.

Project No. 3094
SCALE: H: 1" = 40'
V: N/A
DESIGNED BY: JMW
DRAFTED BY: JSV
REVIEWED BY: TGT

11

11



Planning Solutions, Inc.

Creating Solutions to Complex Issues

4400 NE 77th Avenue Suite 275

VANCOUVER, WA 98662
VOICE: 360-760-9000 FAX: 360-713-6102

www.planningsolutionsinc.com



LOCKWOOD MEADOWS SUBDIVISION

2000 NE Lockwood Creek Road
La Center, Washington



TREE RECOMMENDATIONS	
R	TREE DESIGNATED FOR RETENTION (RETAIN & PROTECT DURING CONSTRUCTION)
X	TREE DESIGNATED FOR REMOVAL
TREE CONFLICTS WITH CONSTRUCTION	
CRD	CONFLICT WITH ROAD CONSTRUCTION
CGD	CONFLICT WITH SITE GRADING / DRAINAGE
CSW	CONFLICT WITH STORMWATER FACILITY
CBE	CONFLICT WITH BUILDING ENVELOPE
CUT	CONFLICT WITH UTILITY TRENCH
CDR	CONFLICT WITH DRIVE AND PATIO LOCATION
TREE CONDITION / DEFECTS	
DT	DEAD TREE

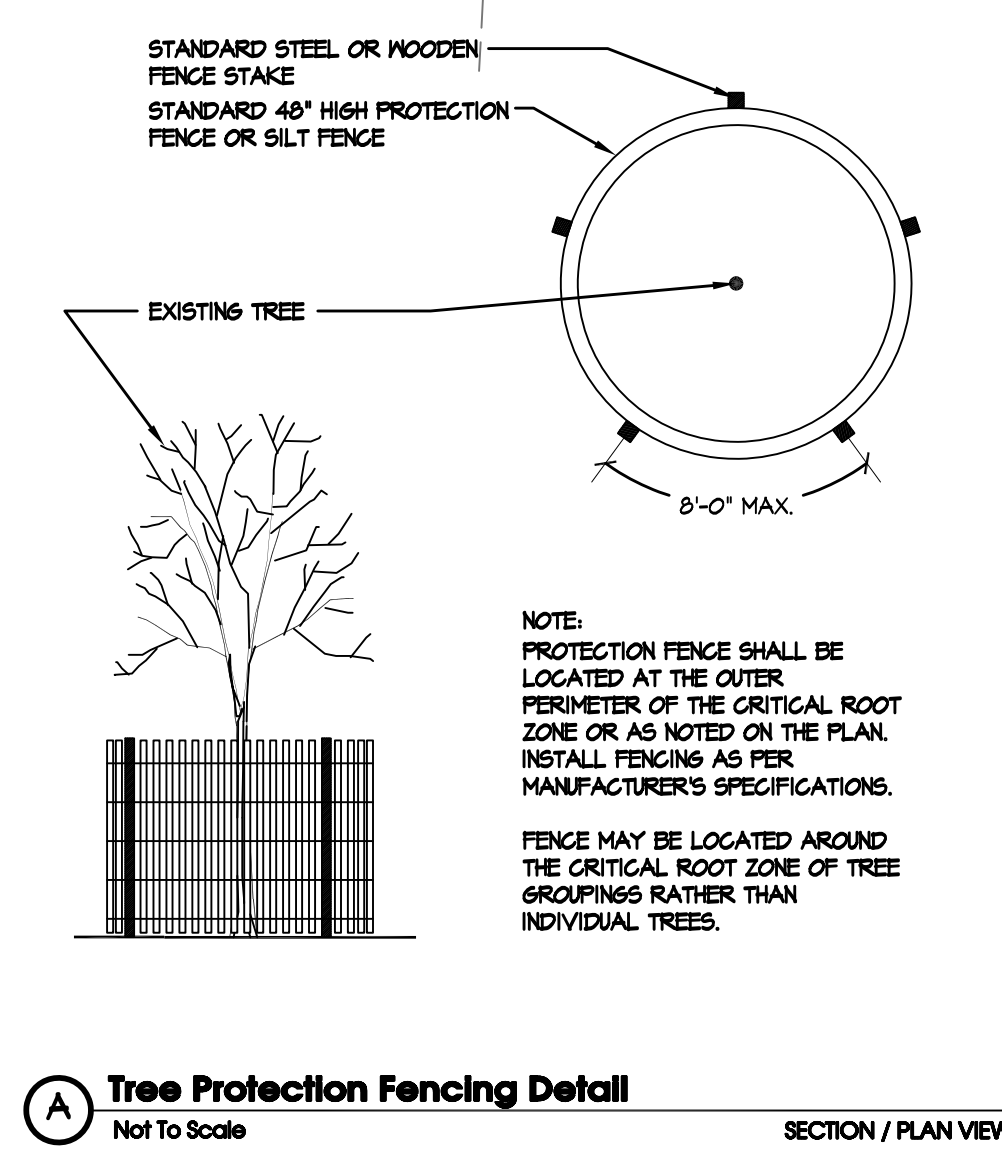
- TREE PROTECTION NOTES**
- No person may conduct any of the following activities within the drip line of the trees designated to remain including, but not limited to: parking equipment, fueling, servicing equipment, placing solvents, storing building material and soil deposits, dumping concrete washout and locating burn holes.
 - During construction, no person shall attach any object to the trees designated for protection.
 - The contractor shall follow the grading plan provided by the project civil engineer. Grading activities shall be conducted in a manner to minimize the impacts to the trees marked for preservation.
 - The excavator shall keep a sharp pair of loppers and a sharp 12" pruning saw accessible on-site during grading operations. Any roots larger than 1 1/2" shall be pruned to the face of the cut (using a sharp pair of loppers or a sharp 12" pruning saw) and shall not be torn from the ground by mechanical excavation.
 - Special care shall be exercised in working within 20 feet of the trees to be retained. This includes hand excavating the roots at the edge of the excavation and cutting roots with a lopper or pruning saw. Pruning the roots at the edge of excavation will minimize breakage of healthy roots beyond the edge of the proposed excavation.
 - Except for the proposed improvements shown within the drip lines of the trees noted to be retained the grade shall not be elevated or reduced from existing grade.
 - If the grade adjacent to a preserved tree is raised such that it could slough or erode into the tree's drip line, it shall be permanently stabilized.
 - The trees noted to be retained shall be protected from erosion and sedimentation. Clearing operations shall be conducted so as to expose the smallest practical area of soil to erosion for the least possible time. Refer to the project's erosion control plan for more information.
 - The project shall not install an impervious surface other than those specifically shown on the plans within the drip line of the trees to be retained.
 - Utility trenches shall be located outside of the drip line of the trees to be retained.
 - Ongoing Tree Maintenance shall be the responsibility of the land owner. Trees shall be maintained in accordance with ANSI American National Standards Institute's as well as other applicable Federal, State and Local standards pertaining to Tree Care Operations.
 - ANSI Z183 Arboricultural Operations: Safety Requirements
 - ANSI A300 Part I Pruning

EXISTING TREE MATRIX				
#	TYPE	COMMENTS	SIZE	RECOMMENDATIONS
1	Fir	pr-sata	10"	R
2	Fir	pr-sata	8"	R
3	Fir	pr-sata	8"	R
4	Fir	CGD	8"	X
5	Fir	CGD	8"	X
6	Fir	CGD	8"	X
7	Fir	pr-sata	12"	R
8	Fir	pr-sata	8"	R
9	Fir	pr-sata	10"	R
10	Fir	pr-sata	8"	R
11	Fir	pr-sata	10"	R
12	Fir	pr-sata	8"	R
13	Cottonwood	CGD	10"	X
14	Fir	pr-sata	10"	R
15	Cottonwood	pr-sata	8"	R
16	Cottonwood	pr-sata	8"	R
17	Cottonwood	pr-sata	8"	R
18	Cottonwood	pr-sata	14"	R
19	Cottonwood	pr-sata	8"	R
20	Cottonwood	pr-sata	12"	R
21	Cottonwood	pr-sata	18"	R
22	Cottonwood	pr-sata	8"	R
23	Cottonwood	pr-sata	8"	R
24	Cottonwood	pr-sata	8"	R
25	Cottonwood	pr-sata	16"	R
26	Cottonwood	pr-sata	18"	R
27	Cottonwood	pr-sata	8"	R
28	Cottonwood	pr-sata	8"	R
29	Cottonwood	pr-sata	18"	R
30	Cottonwood	pr-sata	8"	R
31	Cottonwood	pr-sata	8"	R
32	Cottonwood	pr-sata	8"	R
33	Cottonwood	pr-sata	8"	R
34	Cottonwood	pr-sata	8"	R
35	Cottonwood	pr-sata	10"	R
36	Cottonwood	pr-sata	10"	R
37	Cottonwood	pr-sata	12"	R
38	Cottonwood	pr-sata	14"	R
39	Cottonwood	pr-sata	12"	R
40	Cottonwood	pr-sata	8"	R
41	Cottonwood	pr-sata	10"	R
42	Cottonwood	pr-sata	10"	R
43	Cottonwood	pr-sata	12"	R
44	Cottonwood	pr-sata	8"	R
45	Cottonwood	pr-sata	8"	R
46	Cottonwood	pr-sata	8"	R
47	Cottonwood	pr-sata	8"	R
48	Cottonwood	pr-sata	18"	R
49	Cottonwood	pr-sata	12"	R
50	Oak	pr-sata	12"	R

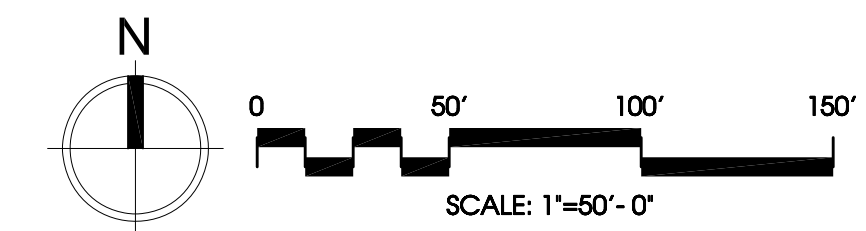
EXISTING TREE MATRIX				
#	TYPE	COMMENTS	SIZE	RECOMMENDATIONS
49	Cottonwood		18"	R
50	Cottonwood		16"	R
51	Cottonwood		16"	R
52	Cottonwood		12"	R
53	Cottonwood		8"	R
54	Cottonwood		18"	R
55	Cottonwood		18"	R
56	Cottonwood		8"	R
57	Cottonwood		8"	R
58	Cottonwood		8"	R
59	Cottonwood		8"	R
60	Oak		12"	R

SITE STATISTICS	
20 +/- AC	SITE AREA
4	NUMBER OF JURISDICTIONAL TREES TO BE REMOVED
47	NUMBER OF JURISDICTIONAL TREES ON SITE

SYMBOL LEGEND	
	EXISTING TREE
	EXISTING TREE TO BE REMOVED
	TREE PROTECTION FENCE LOCATION (4' CHAIN LINK, ORANGE PVC FENCE OR SILT FENCE) (ALSO DENOTES AREA WHERE NO IMPACTS TO CRITICAL ROOT ZONE SHALL OCCUR)



Tree Protection Fencing Detail
Not To Scale SECTION / PLAN VIEW



© COPYRIGHT 2021, PLANNING SOLUTIONS, INC. NO PART OF THIS DRAWING MAY BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION OF PLANNING SOLUTIONS, INC.

DISCLAIMER AND LIMITATIONS: ANY WORK CONTAINED HEREIN INCLUDING BUT NOT LIMITED TO PLANS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE INTENDED FOR USE SOLELY WITH RESPECT TO THIS PROJECT. ALL WORK SHALL BE CONSIDERED CONCEPTUAL AND SUBJECT TO CHANGE. THESE INSTRUMENTS OF SERVICE SHALL BE CONSIDERED A WORK IN PROGRESS WHERE UNKNOWN FACTORS EXIST AND JURISDICTIONAL REQUIREMENTS HAVE NOT BEEN VERIFIED. DUE TO THE HIGH DEGREE OF UNCERTAINTY ASSOCIATED WITH A CONCEPTUAL DESIGN THESE INSTRUMENTS OF SERVICE SHALL NOT BE USED AS THE BASIS FOR A FINANCIAL EVALUATION OR CONSTRUCTION COST ESTIMATING. NO ASSURANCES ARE OFFERED OR IMPLIED AS TO THE OVERALL FEASIBILITY OF THE PROJECT. ALL WORK SHALL BE SUBJECT TO REVIEW AND FINAL APPROVAL BY ALL APPROPRIATE FEDERAL, STATE AND LOCAL AGENCIES AND SHALL CONTAIN THE PROFESSIONAL SEAL AND SIGNATURE OF ALL REQUIRED DESIGN PROFESSIONALS PRIOR TO ANY USE OF THESE DOCUMENTS. PLANNING SOLUTIONS, INC. AND ITS CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.

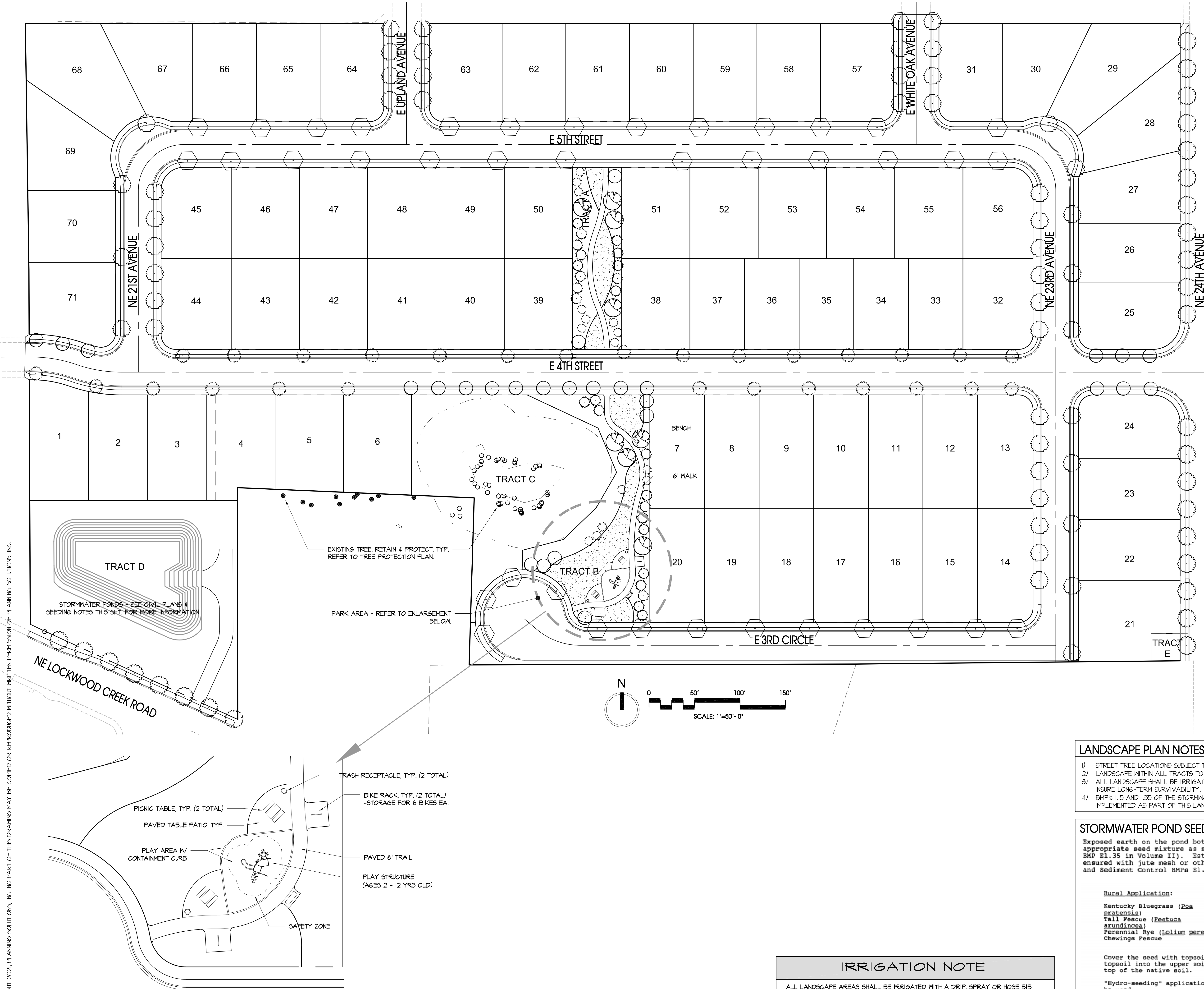
DRAWN: CB CHECKED: CB
SCALE: 1" = 50'-0" DATE: 10.30.21
JOB #: 21-1683
ISSUED FOR: PLR
REVISIONS:

SHEET NAME:
PRELIMINARY TREE PROTECTION PLAN
SHEET #:
T1
SHEET 1 OF 3



LOCKWOOD MEADOWS SUBDIVISION

2000 NE Lockwood Creek Road
 La Center, Washington



PLANT LEGEND			
SYMBOL	BOTANICAL / COMMON NAME	SIZE	QTY
TREES			
	ACER RUBRUM 'ARMSTRONG' / ARMSTRONG MAPLE	2" Cal. Min.	44
	ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE	2" Cal. Min.	28
	CALOCEDRUS DECURRENS / INCENSE CEDAR	6' ht. Min.	26
	CUPRESSUS NOOTKATENSIS / ALASKAN CEDAR	6' ht. Min.	15
	PARROTIA PERSICA / PERSIAN PARROTIA	2" Cal. Min.	28
	PYRUS CALLERYANA 'CAPITAL' / CAPITAL ORNAMENTAL PEAR	2" Cal. Min.	27
	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LINDEN	2" Cal. Min.	8
	ZELKOVA SERRATA / VILLAGE GREEN SELKOVA	2" Cal. Min.	34
SHRUBS			
PER FINAL DESIGN			
	FESTUCA GLAUCO / BLUE FESCUE		
	ILEX X MESERVEAE 'BLUE BOY' / BLUE BOY HOLLY		
	KALMIA LATIFOLIA 'ELF' / ELF MOUNTAIN LAUREL		
	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE		
	MISCANTHUS SINENSIS 'MORNING LIGHT' / MORNING LIGHT MAIDEN GRASS		
	NANDINA DOMESTICA 'FIREPOWER' / FIREPOWER NANDINA		
	NANDINA DOMESTICA 'MOONBAY' / MOONBAY NANDINA		
	PIERIS JAPONICA 'CAVATINE' / CAVATINE PIERIS		
	PIERIS JAPONICA 'VARIEGATA' / VARIEGATED PIERIS		
	FRUNUS LAUROCERASUS 'SCHIPKAENSIS' / SCHIPKA CHERRY LAUREL		
	VIBURNUM DAVIDII / DAVID VIBURNUM		
GROUND COVER			
NO SYMBOL	ARCTOSTAPHYLOS UVA-URSI / KINKIKINICK (ALL PLANTER STRIPS)	1 GAL. Min.	36' O.C.
	TURF, DROUGHT RESISTANT, SUN & SHADE MIX (SEED OR SOD)		

REFER TO SHEET L2 FOR NOTES & DETAILS.

TREES AND SHRUBS IN SIGHT DISTANCE TRIANGLE, TYP. ALL SHRUBS WITHIN SIGHT DISTANCE TRIANGLES SHALL BE MAINTAINED SO THAT FOLIAGE HEIGHT ABOVE PAVEMENT DOES NOT EXCEED 2.5 FEET. STREET TREES WITHIN SIGHT DISTANCE TRIANGLES SHALL BE LIMBED UP TO A HEIGHT OF 10 FEET CONSISTENT WITH ANSI A300 STANDARDS TO PROVIDE FOR SIGHT DISTANCE VISIBILITY.

LANDSCAPE PLAN NOTES

- STREET TREE LOCATIONS SUBJECT TO CHANGE PER FINAL DRIVEWAY, UTILITY AND STREET LIGHTING LOCATIONS.
- LANDSCAPE WITHIN ALL TRACTS TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- ALL LANDSCAPE SHALL BE IRRIGATED VIA AN AUTOMATIC UNDERGROUND SYSTEM OR HAND WATERING TO INSURE LONG-TERM SURVIVABILITY.
- BMPs 1.15 AND 1.35 OF THE STORMWATER MANAGEMENT MANUAL FOR THE PUGET SOUND BASIN SHALL BE IMPLEMENTED AS PART OF THIS LANDSCAPE PLANS INSTALLATION.

STORMWATER POND SEEDING NOTES

Exposed earth on the pond bottom and side slopes shall be sodded or seeded with the appropriate seed mixture as soon as is practicable (see Erosion and Sediment Control BMP E1.35 in Volume II). Establishment of protective vegetative cover shall be ensured with jute mesh or other protection and reseeded as necessary (see Erosion and Sediment Control BMPs E1.15 and E1.35 in Volume II).

Rural Application:			
Kentucky Bluegrass (<i>Poa pratensis</i>)	15%	85	80
Tall Fescue (<i>Festuca arundinacea</i>)	40%	95	90
Perennial Rye (<i>Lolium perenne</i>)	30%	95	90
Chewings Fescue	15%	95	90

Cover the seed with topsoil or mulch no deeper than 4 inch. It is better to work topsoil into the upper soil layer rather than spread a layer of it directly onto the top of the native soil.

"Hydro-seeding" applications with approved seed-mulch-fertilizer mixtures may also be used.

IRRIGATION NOTE

ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH A DRIP, SPRAY OR HOSE BIB IRRIGATION SYSTEM. REFER TO CIVIL ENGINEERING PLANS FOR WATER SOURCE.

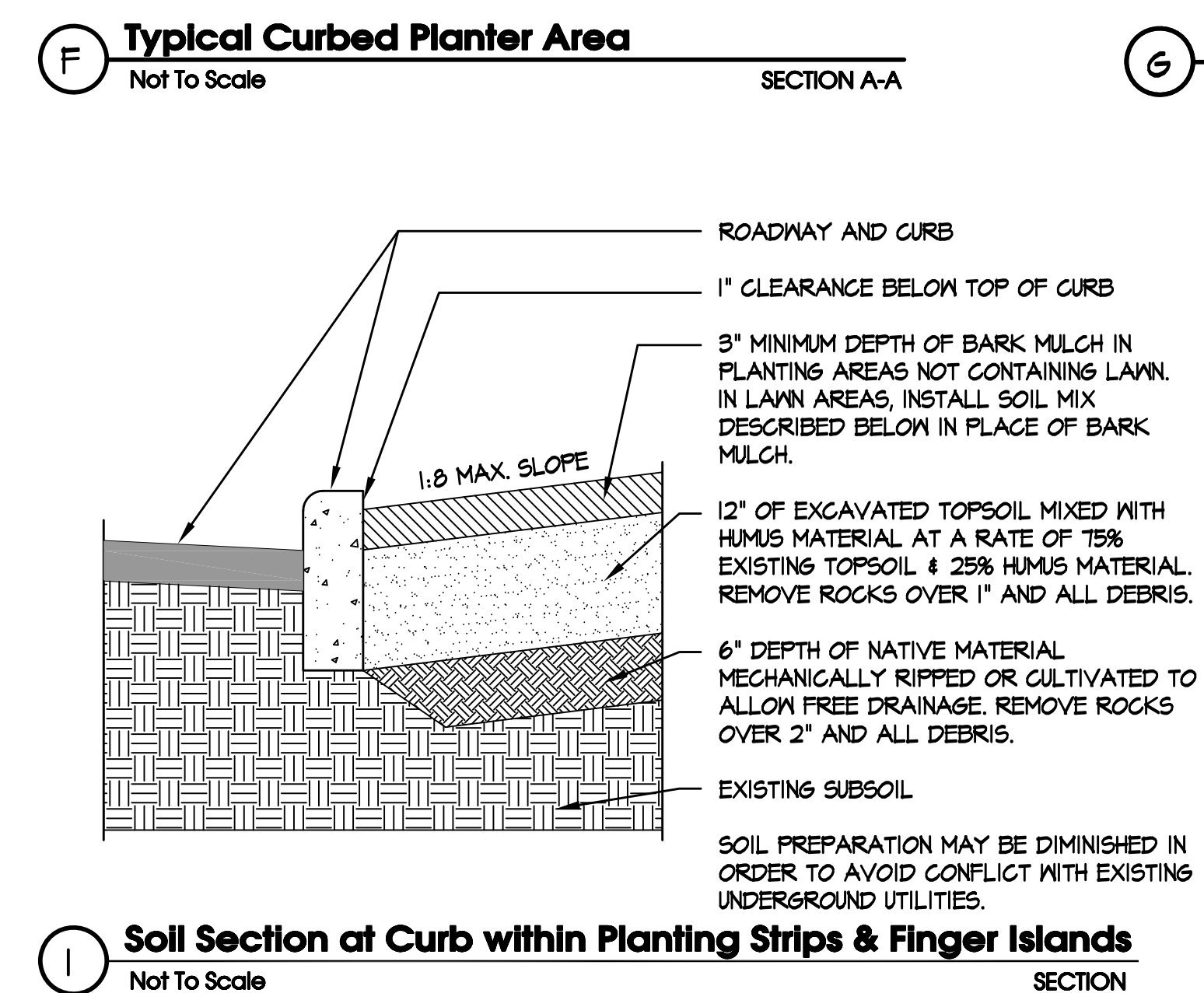
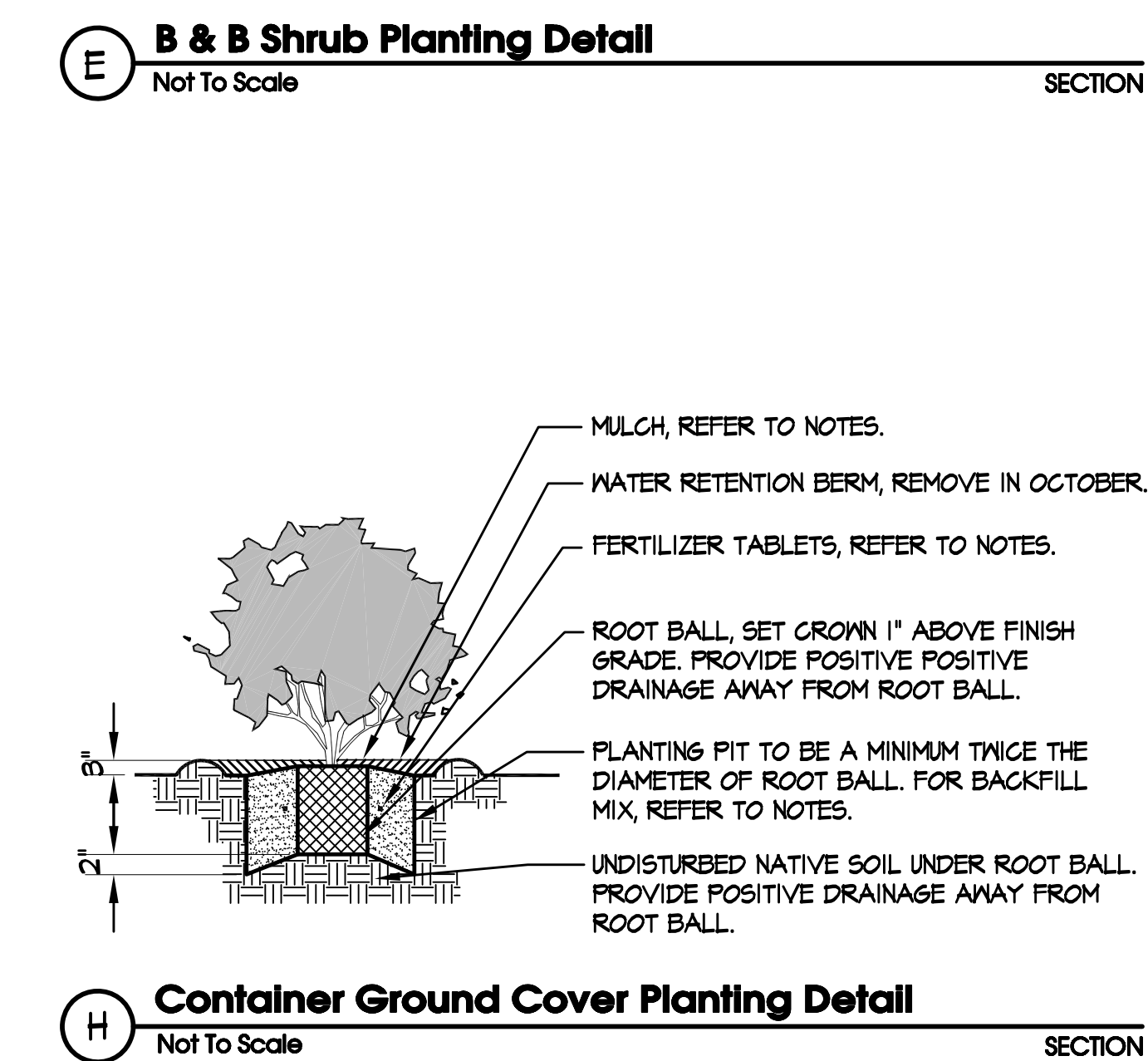
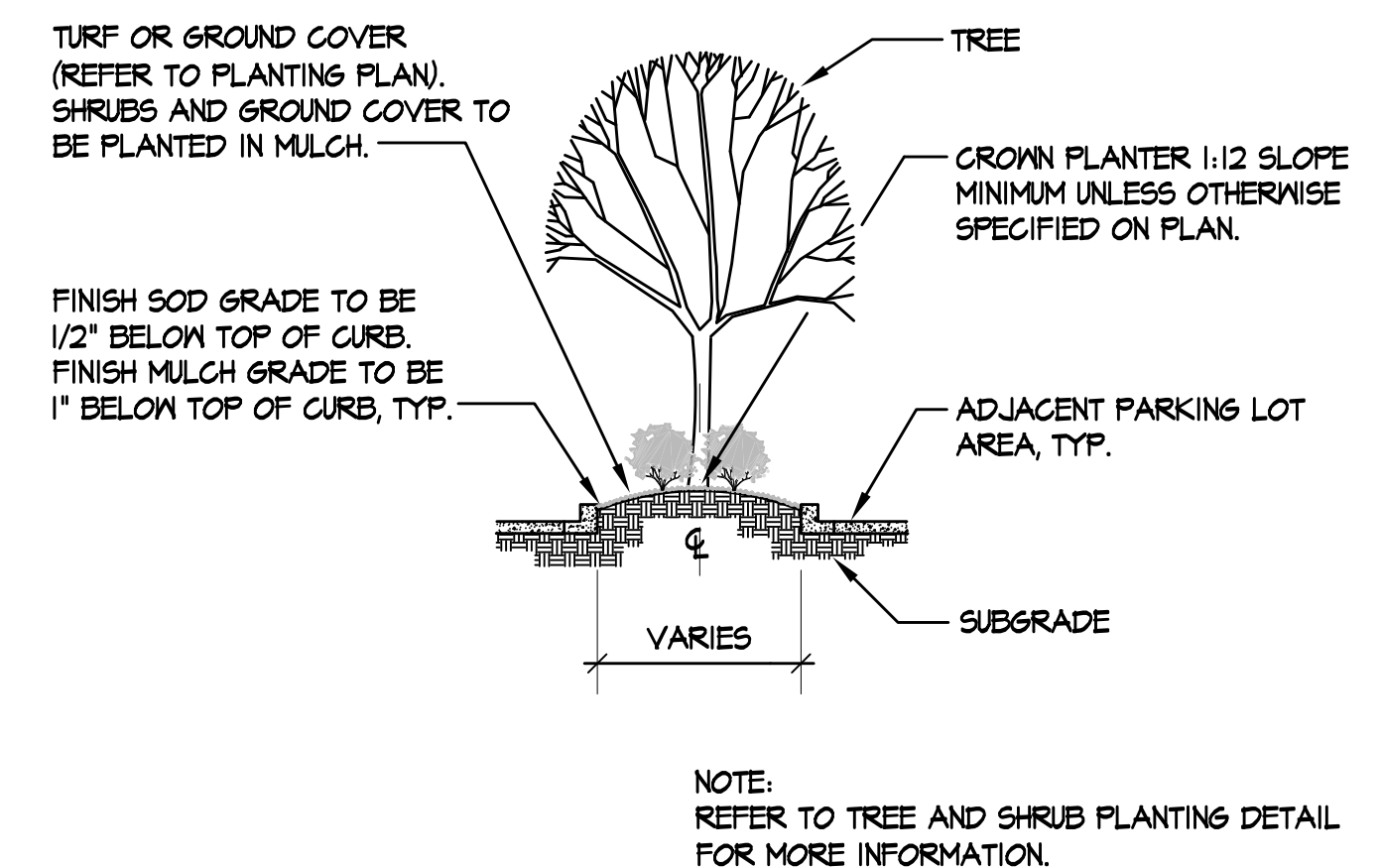
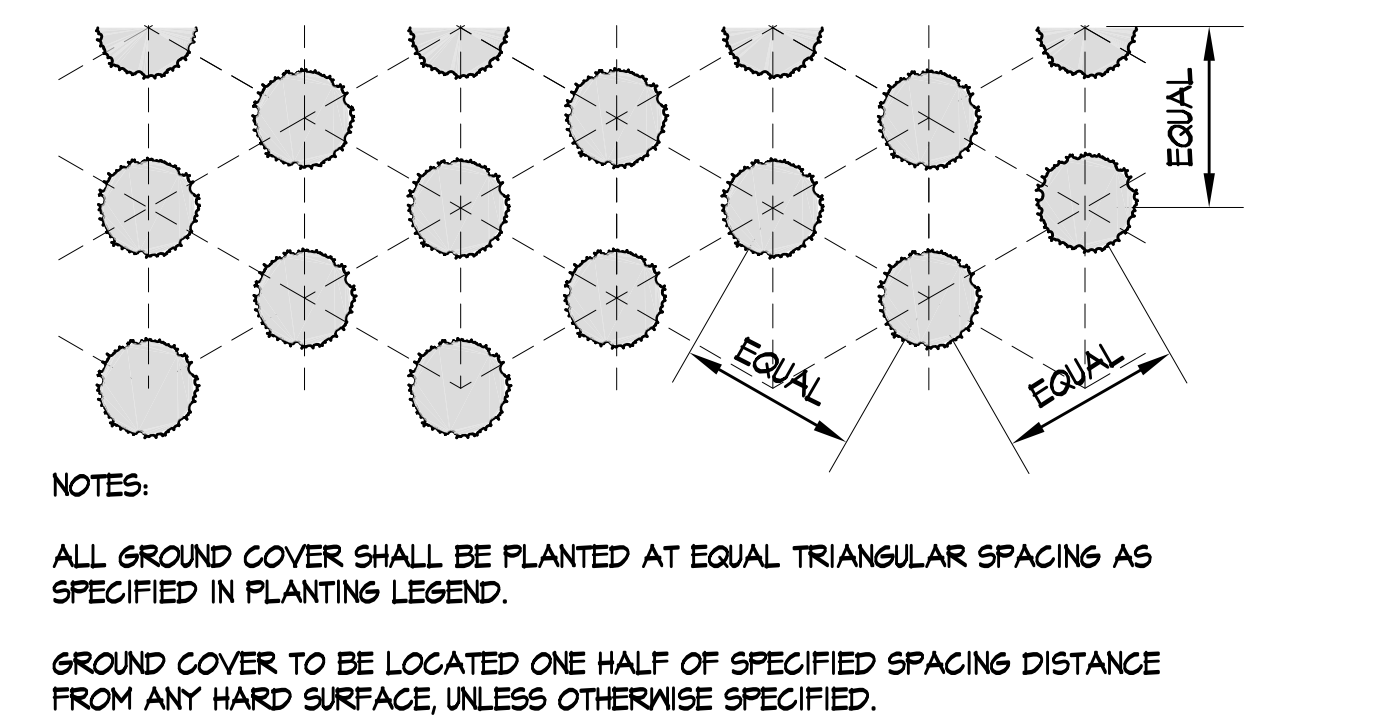
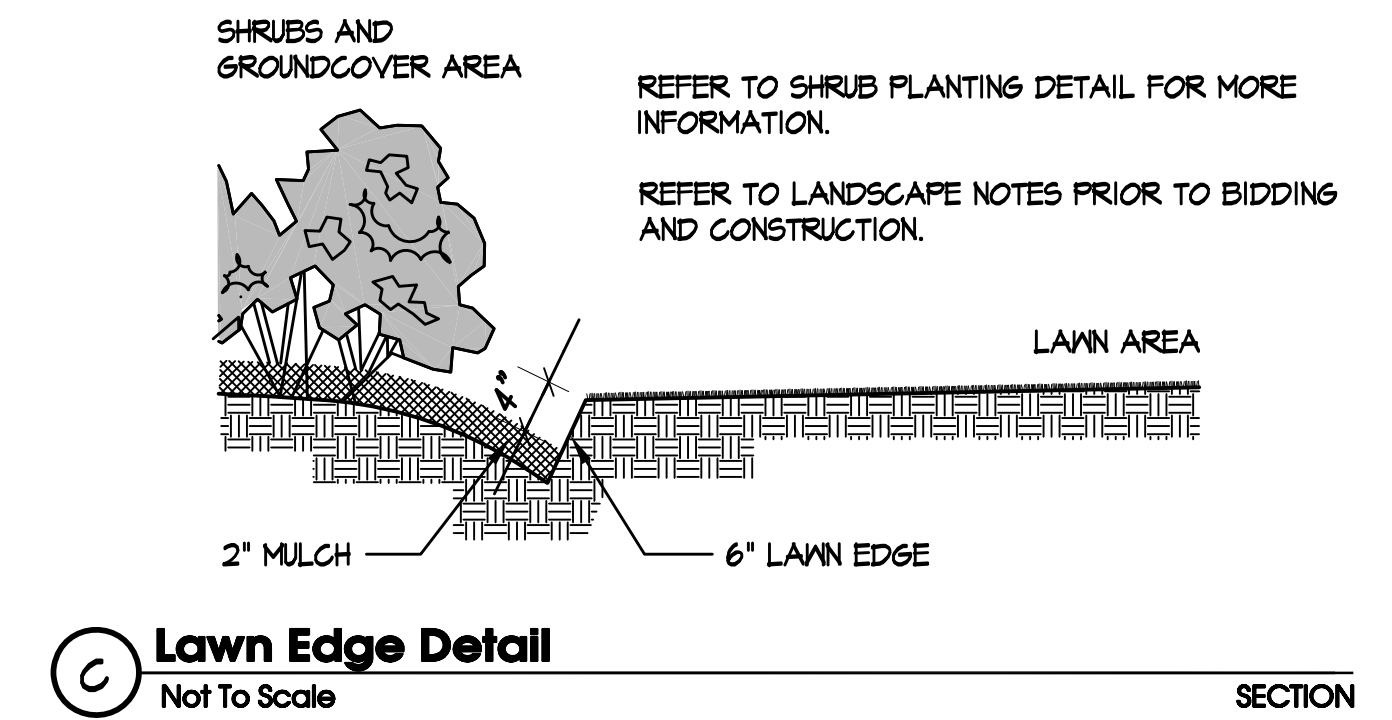
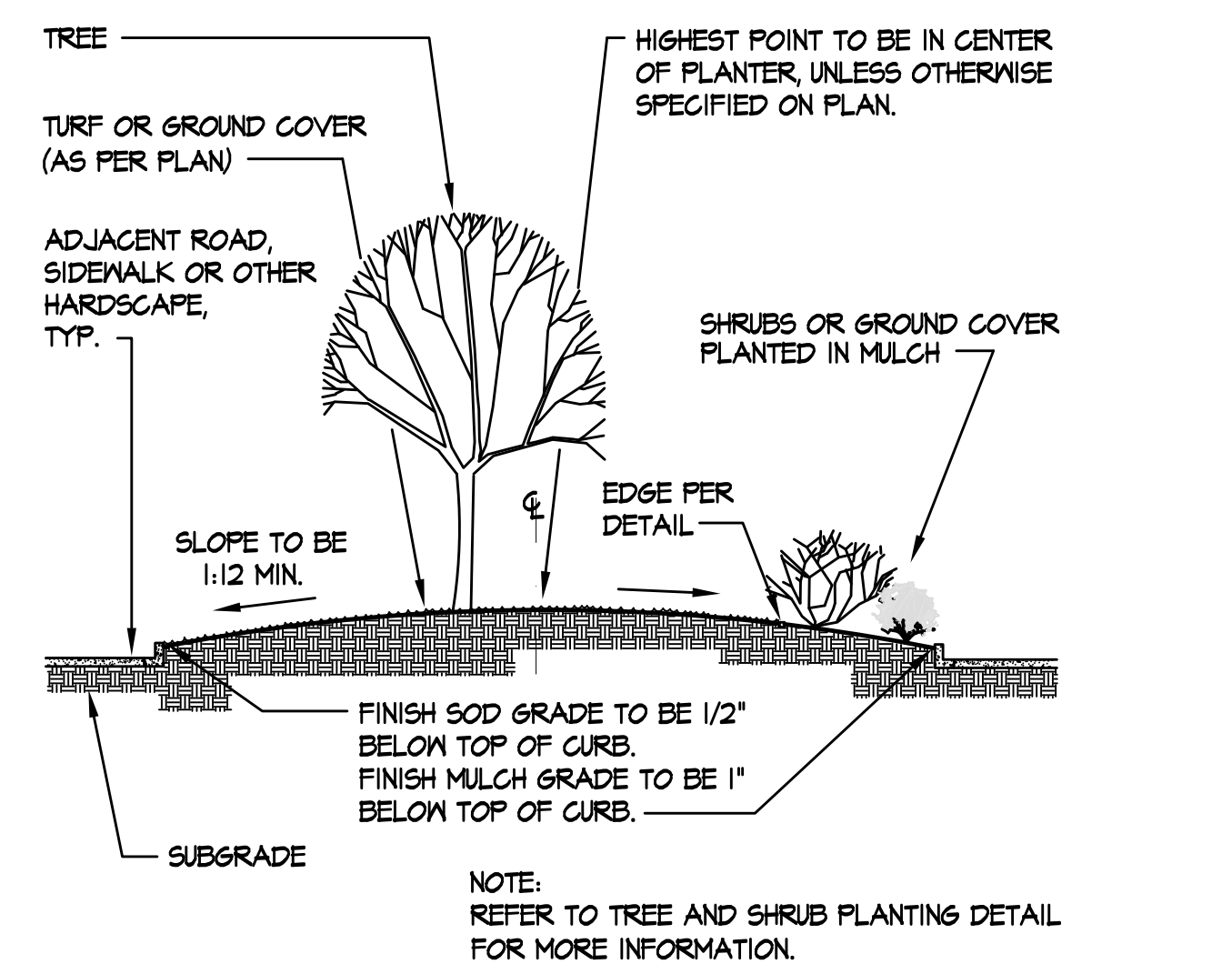
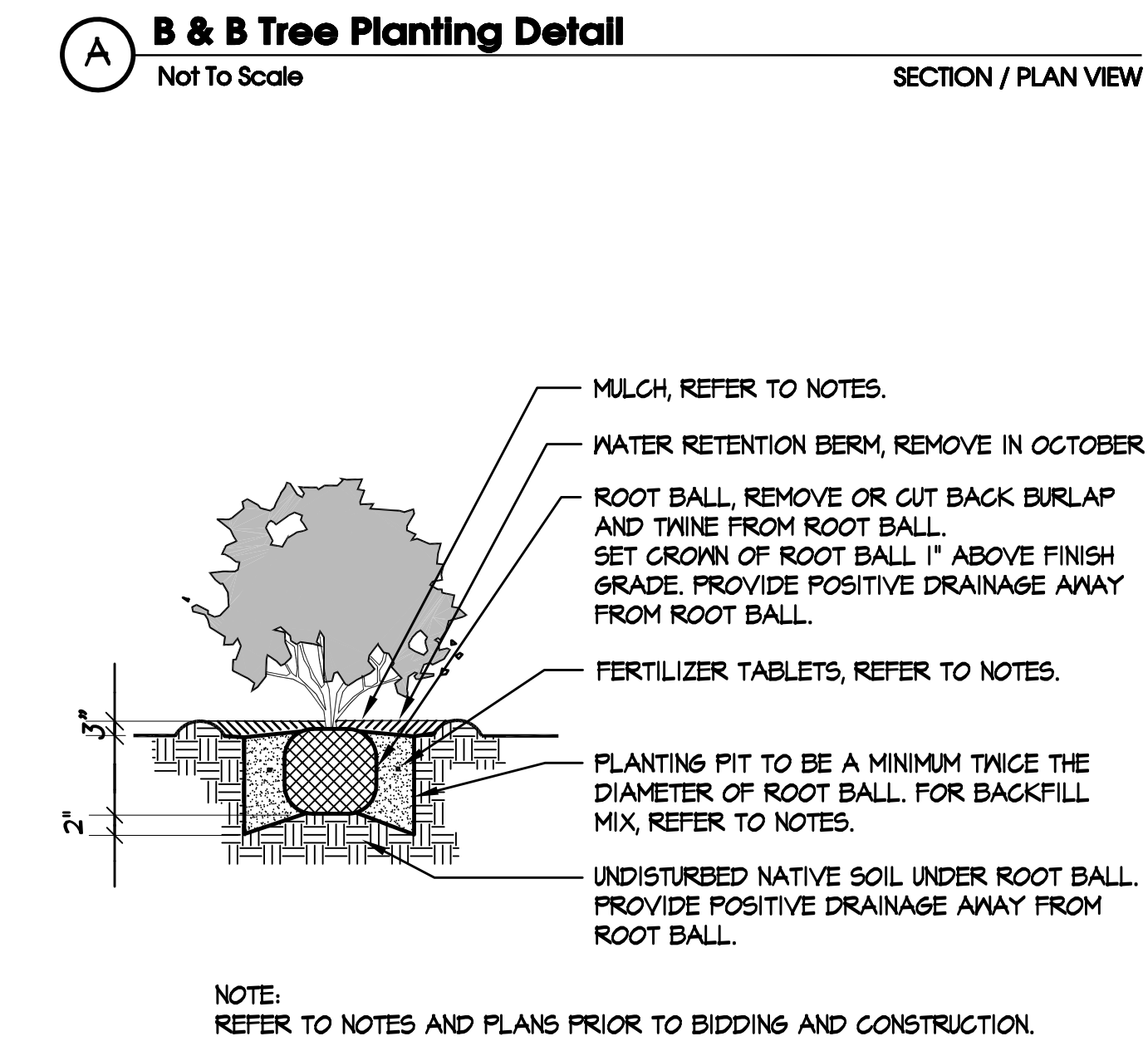
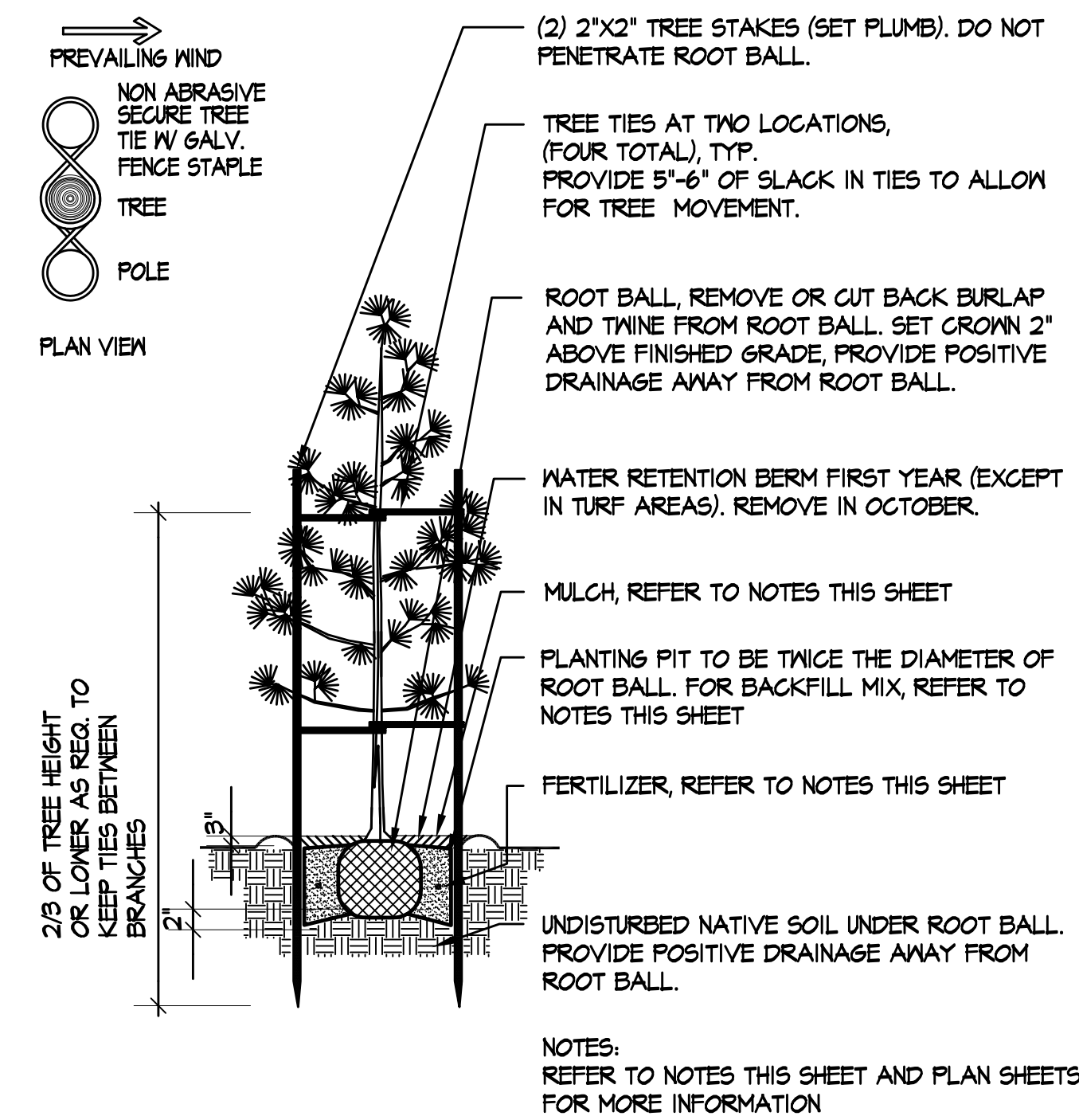
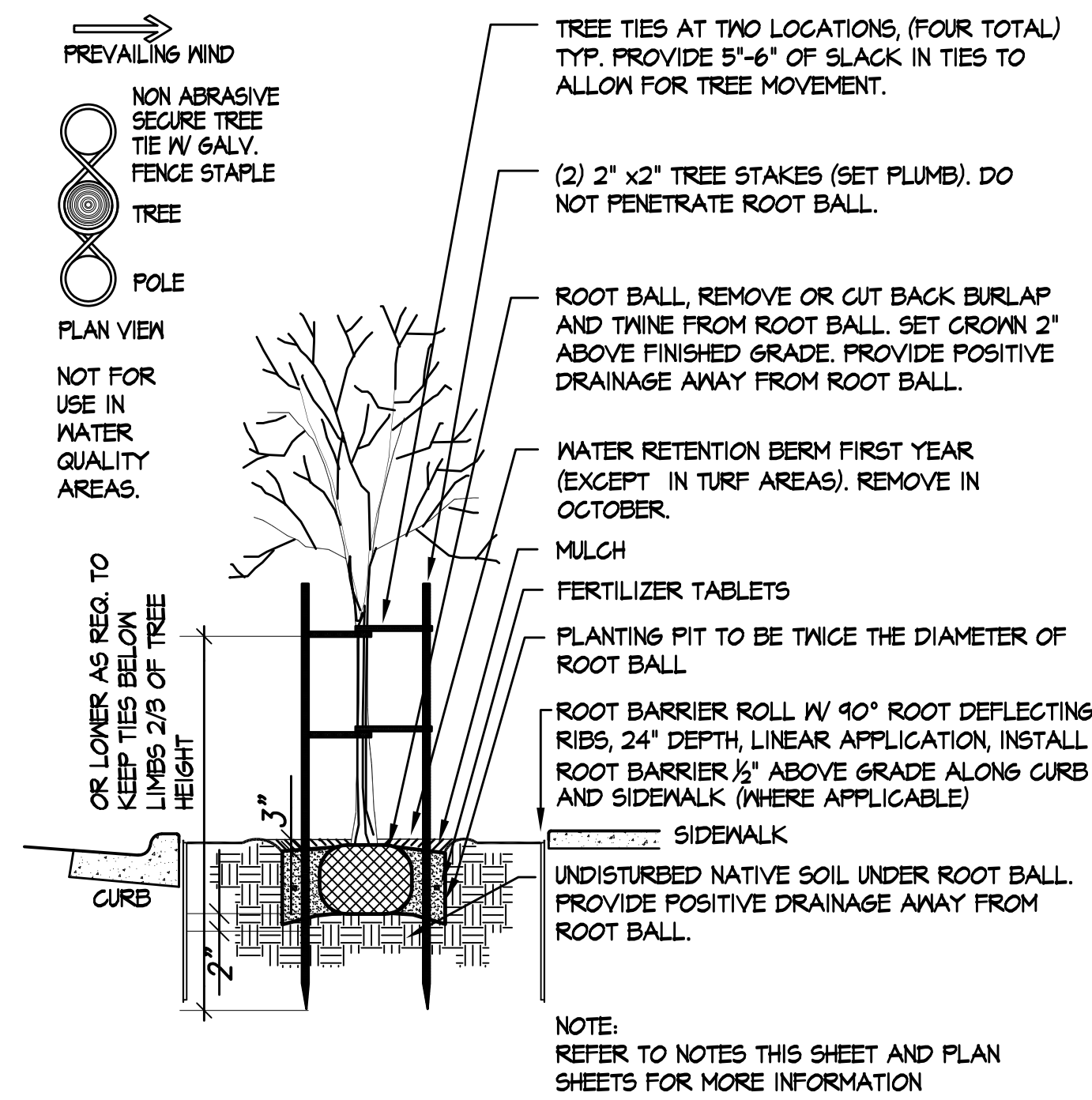
© COPYRIGHT 2021, PLANNING SOLUTIONS, INC. NO PART OF THIS DRAWING MAY BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION OF PLANNING SOLUTIONS, INC.

DRAWN: CB CHECKED: CB
 SCALE: 1" = 50'-0" DATE: 10.30.21
 JOB #: 21-1683
 ISSUED FOR: PLR
 REVISIONS:
 SHEET NAME:
PRELIMINARY LANDSCAPE & PARK PLAN
 SHEET #:

DISCLAIMER AND LIMITATIONS: ANY WORK CONTAINED HEREIN INCLUDING BUT NOT LIMITED TO PLANS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE INTENDED FOR USE SOLELY WITH RESPECT TO THIS PROJECT. ALL WORK SHALL BE CONSIDERED CONCEPTUAL AND SUBJECT TO CHANGE. THESE INSTRUMENTS OF SERVICE SHALL BE CONSIDERED A WORK IN PROGRESS WHERE UNKNOWN FACTORS EXIST AND JURISDICTIONAL REQUIREMENTS HAVE NOT BEEN VERIFIED. DUE TO THE HIGH DEGREE OF UNCERTAINTY ASSOCIATED WITH A CONCEPTUAL DESIGN THESE INSTRUMENTS OF SERVICE SHALL NOT BE USED AS THE BASIS FOR A FINANCIAL EVALUATION OR CONSTRUCTION COST ESTIMATING. NO ASSURANCES ARE OFFERED OR IMPLIED AS TO THE OVERALL FEASIBILITY OF THE PROJECT. ALL WORK SHALL BE SUBJECT TO REVIEW AND FINAL APPROVAL BY ALL APPROPRIATE FEDERAL, STATE AND LOCAL AGENCIES AND SHALL CONTAIN THE PROFESSIONAL SEAL AND SIGNATURE OF ALL REQUIRED DESIGN PROFESSIONALS PRIOR TO ANY USE OF THESE DOCUMENTS. PLANNING SOLUTIONS, INC. AND ITS CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.

PLANTING NOTES

- ALL BOUNDARIES, EASEMENTS, UTILITIES AND LEGAL ENCUMBRANCES TO BE CONFIRMED WITH OWNER PRIOR TO BEGINNING WORK. PROPERTY LINES AND SURVEY INFORMATION PROVIDED BY PLS ENGINEERING, INC.
- IN NO WAY IS THIS PLAN TO BE INTERPRETED TO EXCEED THE LEGAL BOUNDARIES OF THE OWNER'S REAL PROPERTY.
- THE LANDSCAPE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF BOUNDARIES, UTILITIES AND WETLANDS.
- THIS PLAN SHALL BE INSTALLED TO MEET ALL APPLICABLE CITY, COUNTY, STATE AND FEDERAL CODES.
- THIS PLAN SHALL BE CONSIDERED PRELIMINARY UNTIL APPROVED BY ALL GOVERNING AGENCIES. IMPLEMENTATION OF THIS PLAN SHALL NOT PROCEED UNTIL ISSUANCE OF ALL RELATED PERMITS.
- PLANT QUANTITIES ARE FOR INFORMATION ONLY. IN CASE OF ANY DISCREPANCY, THE PLAN SHALL GOVERN.
- ALL WORK IS TO BE PERFORMED BY LICENSED CONTRACTORS AND EXPERIENCED WORKERS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES PRIOR TO PERFORMING ANY EXCAVATION. CONTRACTOR SHALL REPAIR ANY DAMAGE TO UTILITIES CAUSED BY THE CONTRACTOR'S WORK, AT NO ADDITIONAL COST TO THE OWNER. CONTACT ALL UTILITY PROVIDERS SERVING THE SITE AREA 48 HOURS PRIOR TO ANY EXCAVATION.
- ALL PLANT MATERIALS SHALL MATCH SPECIFICATIONS PER SPECIES AND SHALL COMPLY WITH ANSI Z60.1 STANDARD FOR NURSERY STOCK.
- THE CONTRACTOR SHALL ADHERE TO THE WASHINGTON ASSOCIATION OF NURSERYMEN'S GUIDELINES FOR PLANTING PRACTICES.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING ELEMENTS ON AND OFF SITE, RESULTING FROM THE CONTRACTOR'S WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE VIABILITY OF ALL PLANT MATERIAL FOR 2 YEARS AFTER COMPLETION OF PLANTING. DISEASED, DYING, OR DEAD PLANT MATERIAL SHALL BE REPLACED BY THE CONTRACTOR DURING THE TWO YEAR PERIOD AND MAINTAINED FOR AN ADDITIONAL 2 YEAR PERIOD.
- IMMEDIATELY UPON BID AWARD, CONTRACTOR SHALL SECURE THE PLANT MATERIALS AS SPECIFIED FROM AVAILABLE SOURCES. IN THE EVENT THAT PLANT MATERIALS ARE NOT AVAILABLE, CONTACT THE CITY OF LACENTER & THE LANDSCAPE ARCHITECT FOR APPROVED SUBSTITUTIONS. NO SUBSTITUTION FOR PLANT MATERIAL WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- TOP DRESS ALL SHRUB AND GROUND COVER AREAS (NOT LAWN) WITH 2" OF FIR BARK MULCH. SUBMIT SAMPLE TO THE CITY OF LACENTER & THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
- TREE LOCATIONS MAY BE ADJUSTED IN THE FIELD TO SUIT SITE REQUIREMENTS AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL ENSURE THAT ALL EXCAVATED PLANTING PITS HAVE POSITIVE DRAINAGE. PLANT PITS FULLY FLOODED WITH WATER SHALL DRAIN WITHIN (12) HOURS OF FILLING.
- FINISH GRADE SHALL BE SET TO ALLOW POSITIVE DRAINAGE
- ROTOTILL 2" OF COMPOST INTO ALL PLANTED AREAS.
- INCORPORATE PEAT INTO THE ROOT ZONE OF RHODODENDRONS, AZALEAS AND OTHER ACID LOVING PLANTS.
- INCORPORATE 10-20-20 FERTILIZER INTO THE ROOT ZONE OF ALL NEW PLANTINGS.
- RONSTAR, OR APPROVED EQUAL, FREEMERGENT HERBICIDE TO BE APPLIED TO ALL PLANTED AREAS PER MANUFACTURERS INSTRUCTIONS.
- EXISTING VEGETATION TO BE SPRAYED WITH ROUNDUP, OR APPROVED EQUAL, PER MANUFACTURERS INSTRUCTIONS. SUFFICIENT TIME SHALL BE GIVEN TO ALLOW EXISTING MATERIAL TO DIE. REMOVE EXISTING VEGETATION MAT AND ROTOTILL OR SCARIFY EXISTING SOIL.
- CROWN LAWN AREAS AND GRADE TO PROVIDE POSITIVE DRAINAGE.
- ROLL LAWN AREA TO INSURE PROPER COMPACTION TO MINIMIZE SETTLING.
- AMEND SOIL IN LAWN AREAS WITH 80 LBS. OF DOLOMITE LIME AND 40 LBS. OF 10-20-20 SLOW RELEASE FERTILIZER OR EQUIVALENT. PROVIDE A 3" LAYER OF SANDY LOAM TOPSOIL FOR LAWN AND BED AREA.
- SEED LAWN AREAS WITH GRASS SEED MANUFACTURER'S RECOMMENDATIONS. COVER SEED WITH FINE MULCH APPLIED WITH ROLLER OR HYDROSEED.
- THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING TURF PLANTED WITHIN THE RIGHT OF WAY.
- PLANT MATERIAL SHALL BE PLANTED W/ ROOT CROWN 1" ABOVE FINISHED GRADE TO ALLOW POSITIVE DRAINAGE AWAY FROM CROWN.
- STAKE ALL TREES OVER 6 FT. IN HEIGHT PER DETAIL 'A' AND 'B' ON THIS SHEET.
- REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- ALL PLANTING SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM.
- ALL PLANT MATERIALS FURNISHED ARE TO BE HEALTHY, UNIFORMLY BRANCHED AND WITH WELL DEVELOPED FIBROUS ROOT SYSTEMS.
- ALL PLANT MATERIALS FURNISHED ARE TO BE FREE FROM DEAD OR BROKEN BRANCHES, LICHENS, SCARS, BROKEN BARK OR WOUNDS. ALL PLANT MATERIALS WILL BE INSECT, WEED, AND DISEASE FREE ACCORDING TO THE REQUIREMENTS OF THE WASHINGTON STATE DEPARTMENT OF AGRICULTURE FOR NURSERY PLANT MATERIALS SOLD FOR WHOLESALE OR RETAIL. ALL PRUNING WOUNDS MUST BE WELL HEALED WITH NO EVIDENCE OF DECAY.
- SIX (6) MONTHS PRIOR TO THE FINAL CITY OF LACENTER ACCEPTANCE & AT FINAL CITY OF LACENTER ACCEPTANCE ALL LANDSCAPING SHALL BE WEED FREE. LAWN AREAS WITH CLOVER WILL NOT BE ACCEPTED.
- HYDROSEEDDED LAWN AREAS MUST BE ACTIVELY GROWING FOR LONGER THAN 4 FOUR (4) MONTHS PRIOR TO FINAL CITY OF LACENTER ACCEPTANCE.



ALL DETAILS SHOWN MAY NOT BE REQUIRED FOR THIS PROJECT.

DRAWN: EOP	CHECKED: CB
SCALE: AS SHOWN	DATE: 10.30.21
JOB #: 21-1683	
ISSUED FOR: PLR	
REVISIONS:	
△	
△	
△	
△	
△	

SHEET NAME:
LANDSCAPE DETAILS

SHEET #:

L2

SHEET 3 OF 3