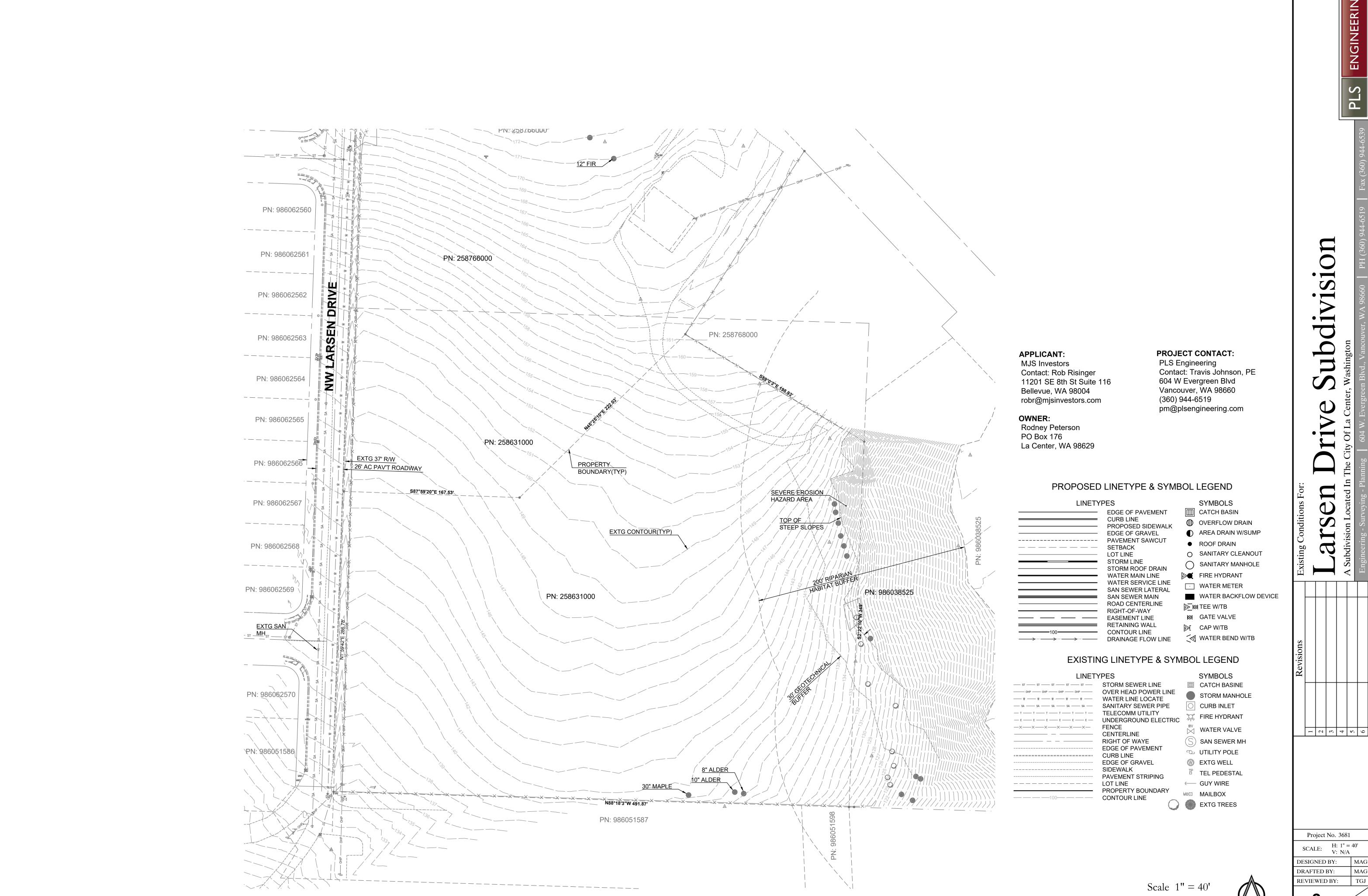
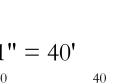


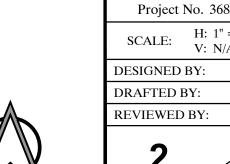
1 2 6 4 6 9

Project No. 3681

SCALE: H: 1" = 40' V: N/A DESIGNED BY: DRAFTED BY: REVIEWED BY:









)) 944-6539

Sity Of La Center, Washington

Sold W. Evergreen Blyd. Vancouver. W.

Jarsion Located In The

1 0 K 4 W 0

Project No. 3681

SCALE: H: 1" = 40'
V: N/A

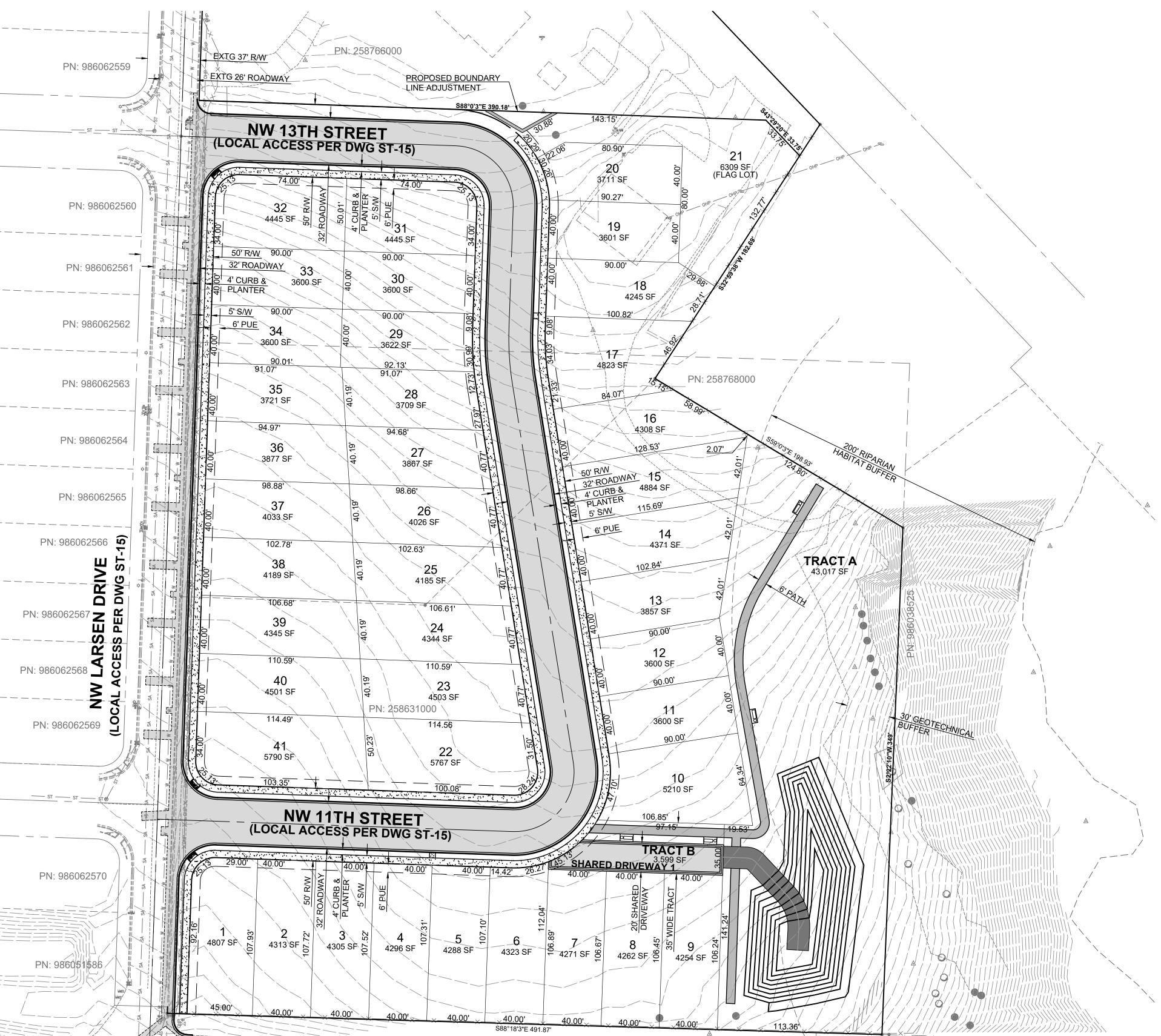
DESIGNED BY: MA

DRAFTED BY: MA

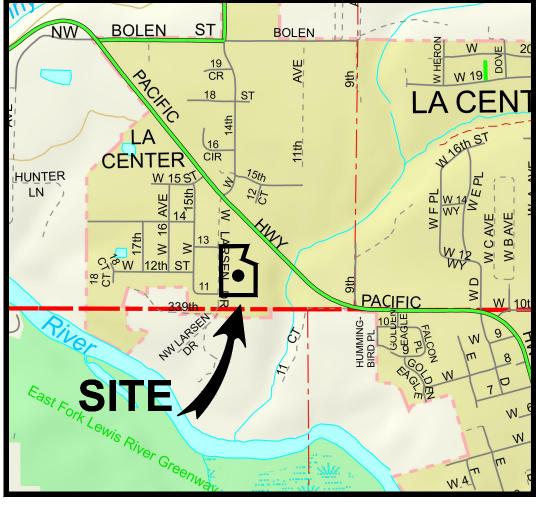
REVIEWED BY: TG

Larsen Drive Subdivision

Located in the SE ¼ of Section 33, T5N, R1E W.M. La Center, Washington



PN: 986051587



VICINITY MAP

NOT TO SCALE

APPLICANT:
MJS Investors
Contact: Rob Risinger
11201 SE 8th St Suite 116
Bellevue, WA 98004
robr@mjsinvestors.com

OWNER:
Rodney Peterson
PO Box 176
La Center, WA 98629

PROJECT CONTACT:
PLS Engineering
Contact: Travis Johnson, PE
604 W Evergreen Blvd
Vancouver, WA 98660
(360) 944-6519
pm@plsengineering.com

GENERAL NOTES

LAND USE:

The applicant is proposing to develop parcel 258631000 (approx 6.4 acres) into 41 single family detached lots in the MDR-16 zone. A boundary line adjustment application will be submitted at the time of preliminary application leaving 2.2 acres with the existing home on parcel 258766000.

TRANSPORTATION:

The proposed development will provide access to the site by constructing a new loop street off NW Larsen Drive. The proposed new street will consist of a 50' right-of-way, 32' paved surface and a 5' sidewalk on each side.

UTILITIES:

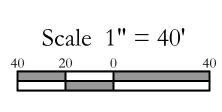
Clark Public Utilities (CPU) is the water purveyor for this site. There is an existing water main in NW Larsen Drive.

The City of La Center is the public sanitary sewer purveyor for this site. There is an existing sanitary 8" sewer main located within NW Larsen Drive that will be extended to serve the site.

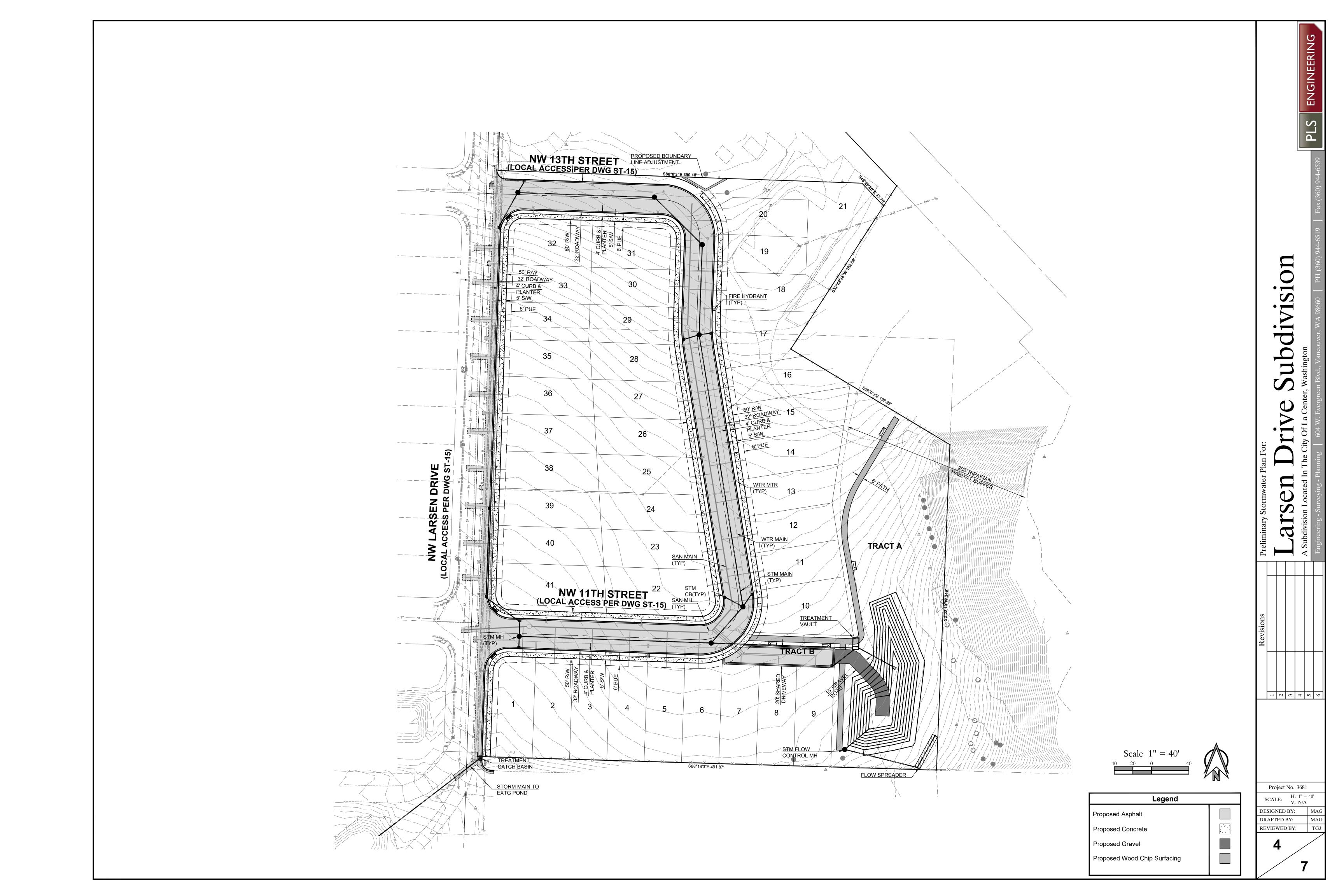
All onsite stormwater runoff will be routed to Tract A to be treated via a stormwater treatment vault prior to being detained within a stormwater detention facility.

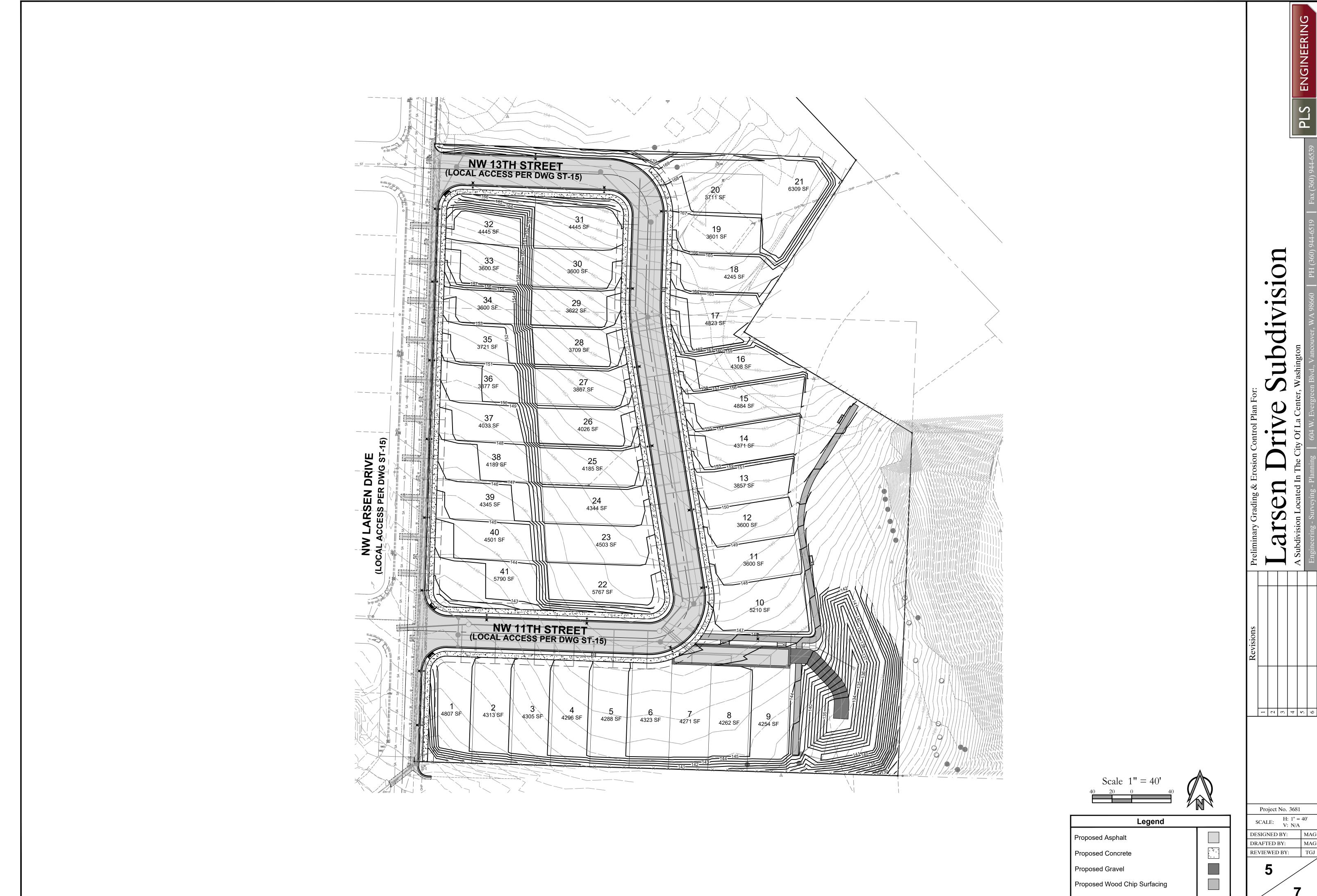
CRITICAL AREAS:

There is a 200' stream buffer encroaching on the site from the east. Steep slopes and sever erosion hazard areas are also present on site and are contained within the stream buffer along the eastern property line.



Legend	
Proposed Asphalt	
Proposed Concrete	
Proposed Gravel	
Proposed Wood Chip Surfacing	







ing-Planning | 604 W. Evergreen Blvd., Vancouver, WA 98660 | PH (360) 944-65

Interchance Details For:

Larsellancous Details For:

A Subdivision Located In The City

Project No. 3681

SCALE: H: N/A V: N/A

DESIGNED BY: MA

DRAFTED BY: MA

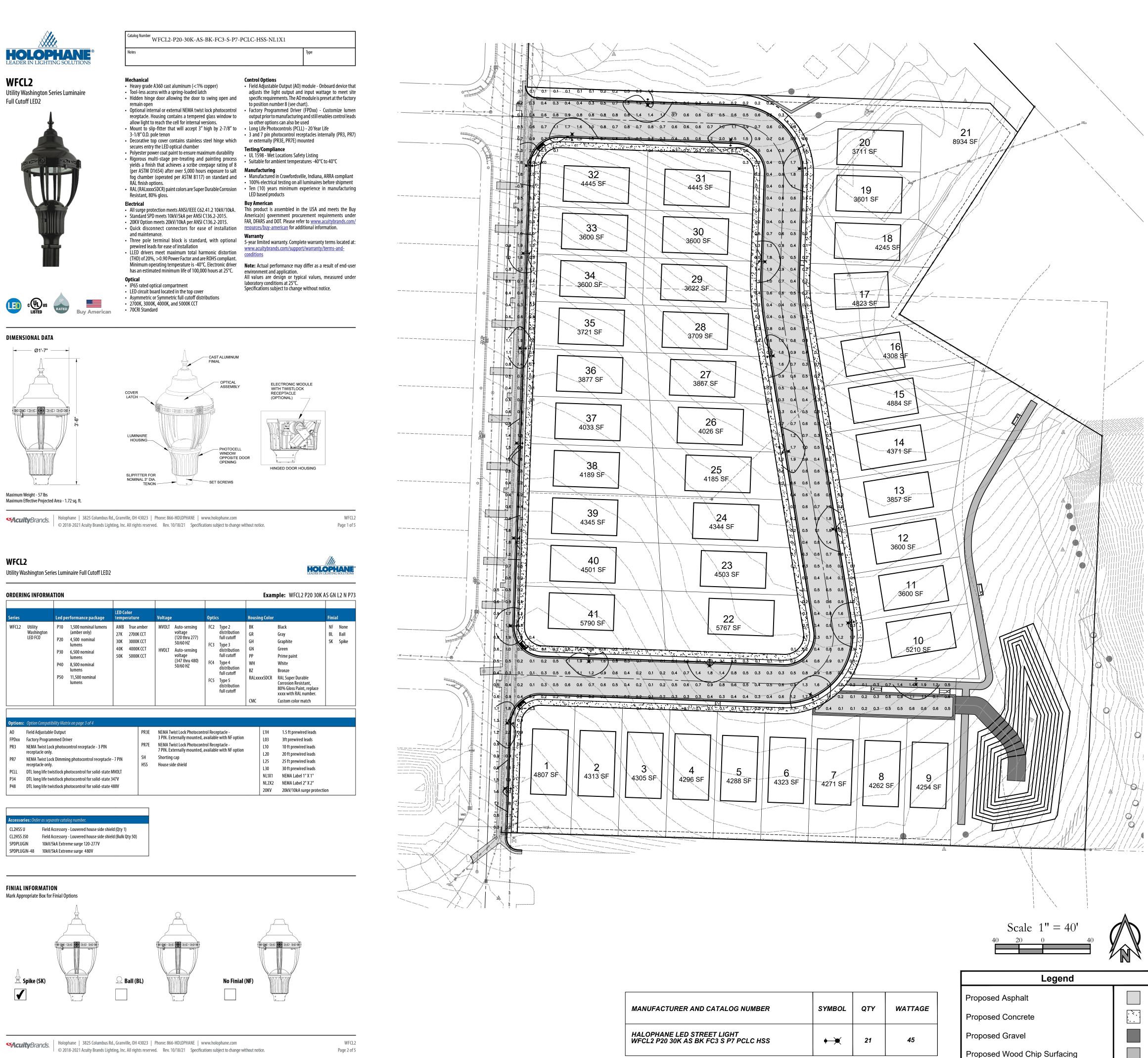
DRAFTED BY: MAREVIEWED BY: TO

50' MIN RIGHT-OF-WAY 4" CEMENT CONCRETE SIDEWALK 3" OF 5/8" CRUSHED AGGREGATE— CONVENTIONAL CONSTRUCTION 1. WIDER SIDEWALKS MAY BE REQUIRED BY REVIEWING AUTHORITY UNDER CERTAIN CIRCUMSTANCES. 2. SUBGRADE REINFORCEMENT GEOTEXTILES SHALL BE INSTALLED OVER A-6 AND A-7 SOILS PRIOR TO CONSTRUCTING THE BASE AND SURFACING. 3. ASPHALT SURFACE FOR ALL ROADS SHALL BE CLASS 12" PG 64-22 HMA PER WSDOT STANDARD SPECIFICATIONS. 4. THE PAVEMENT STRUCTURE THICKNESSES IDENTIFIED FOR THESE SOIL TYPES ARE REQUIRED UNLESS A SITE SPECIFIC PAVEMENT DESIGN IS DONE. THE TOTAL PAVEMENT STRUCTURE SHALL NOT EXCEED 2.5 FEET. 4. EITHER CONVENTIONAL OR THICK ASPHALT CONSTRUCTION IS ALLOWED. 5. BASE ROCK SECTION SHALL BE TWO (2) INCHES OF 5/8"- 0" TOP COURSE, OVER REMAINING DEPTH OF BASE COURSE SHALL BE 1 $\frac{1}{4}$ " MINUS PER WSDOT STANDARD SPECIFICATION SECTION 9-03.9(3). TOTAL BASE ROCK SECTION THICKNESS AS INDICATED IN THE TABLES. 6. ADDITIONAL LANDSCAPE STRIP WIDTH MAY BE NECESSARY TO ACCOMMODATE A LONGER DRIVEWAY APPROACH TO PREVENT VEHICLE ACCESS WITHOUT SCRAPING. ADDITIONAL RIGHT OF WAY MAY BE REQUIRED TO ACCOMMODATE THE WIDER LANDSCAPE STRIP. LOCAL ACCESS (W/PLANTER) PLAN # CITY OF LA CENTER APPROVED 1 9/27/10 BES BES 2 6/8/15 ALC ALC 3 6/1/23 ALC ALC ST-15A DATE CITY ENGINEER

R/W				
~ -	TYPICAL	25' R/W HALF-W		င <u>္</u> -
		16' ASI	PHALT	
7	CONC PLANTER S/W	8.5'	EXTG ASPHALT	
	2.0%	2.0% MIN		
4" CEM CONC S/W 0.25 MIN COMP DEPTH CRUSHED 5/8" AGGREGATE			PAV'	EXTG PAV'T NCUT EDGE OF EXTG TO PROVIDE CLEAN
CEM CONC CURB & GUTTE PER CLC STD DTL ST-5	ER (TYP)		SEE	E FOR CONSTRUCTION CLC STD DRAWING ST-15 FOR ND BASE ROCK THICKNESSES
COMPACTED SI	UBGRADE 95%			AASHTO SOIL GROUP A-4

NW Larsen Drive(Local Access)

Typical Section



| - | 2 | w | 4 | w | 0

Project No. 3681

SCALE: V: N/A DESIGNED BY: DRAFTED BY: REVIEWED BY:

4400 NE 77th Avenue

DATE: SCALE: l" = 40'-0" | Ol.09.24

23-1866

ISSUED FOR: PLR **REVISIONS:**

EXISTING TREE PROTECTION

PLAN

SHEET #:



A Tree Protection Fencing Detail

SECTION / PLAN VIEW

TREE PROTECTION FENCE, SEE DETAIL

HABITAT

BUFFER

SCALE: 1"=40'-0"

DISCLAIMER AND LIMITATIONS: ANY WORK CONTAINED HEREIN INCLUDING BUT NOT LIMITED TO PLANS AND DOCUMENTS OF SERVICE SHALL BE CONSIDERED A WORK IN PROGRESS WHERE UNKNOWN FACTORS EXIST AND JURISDICTION ACT OF SERVICE SHALL BE CONSIDERED A WORK IN PROGRESS WHERE UNKNOWN FACTORS EXIST AND JURISDICTION ACT OF SERVICE SHALL BE CONSIDERED A WORK IN PROGRESS WHERE UNKNOWN FACTORS EXIST AND JURISDICTION ACT OF SERVICE SHALL BE CONSIDERED A WORK IN PROGRESS WHERE UNKNOWN FACTORS EXIST AND JURISDICTION ACT OF SERVICE SHALL BE CONSIDERED AS THE BASIS FOR A FINANCIAL BE CONSIDERED AND JURISDICTION ACT OF SERVICE SHALL BE CONSIDERED AS THE BASIS FOR A FINANCIAL BE CONSIDERED AS

ESTIMATING. NO ASSURANCES ARE OFFERED OR IMPLIED AS TO THE OVERALL FEASIBILITY OF THE PROJECT. ALL WORK SHALL BE DESIGN PROFESSIONAL SEAL AND SHALL BE DESIGN PROFESSIONAL SEAL AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.

THIS SHEET, TYP.

EX. BUILDING TO BE REMOVED

PARCEL // 12

TAX LOT 151

PN:258766000

PROPOSED DEVELOPMENT, TYP.

PN:258631000

N.W. 13TH ST

DRIVE

×.

N.W. 11TH ST

SITE STATISTICS				
6.4± AC	SITE AREA			
4	NUMBER OF JURISDICTIONAL TREES TO BE REMOVED			
13	NUMBER OF JURISDICTIONAL TREES ON SITE			

	SYMBOL LEGEND			
SYMBOL	DESCRIPTION			
® O	EXISTING TREE TO REMAIN			
××	EXISTING TREE TO BE REMOVED			
	CRITICAL ROOT ZONE AREA			
	TREE PROTECTION FENCE LOCATION (4' CHAIN LINK, ORANGE PVC FENCE OR SILT FENCE) (ALSO DENOTES AREA WHERE NO IMPACTS TO CRITICAL ROOT ZONE SHALL OCCUR). SEE DETAIL THIS SHEET.			

TREE PROTECTION TIME LINE & NARRATIVE

EXISTING ON-SITE AND OFF-SITE TREE LOCATIONS AND SIZES HAVE BEEN

4 EXISTING TREES WITHIN THE PROJECT BOUNDARY ARE PROPOSED TO BE REMOVED DUE TO CONFLICTS WITH THE PROPOSED SITE GRADING, ROAD, AND DRIVEWAY IMPROVEMENTS.

TREE PROTECTION FENCING SHALL BE PLACED AS SHOWN TO PROTECT THE EXISTING TREES NOTED FOR RETENTION.

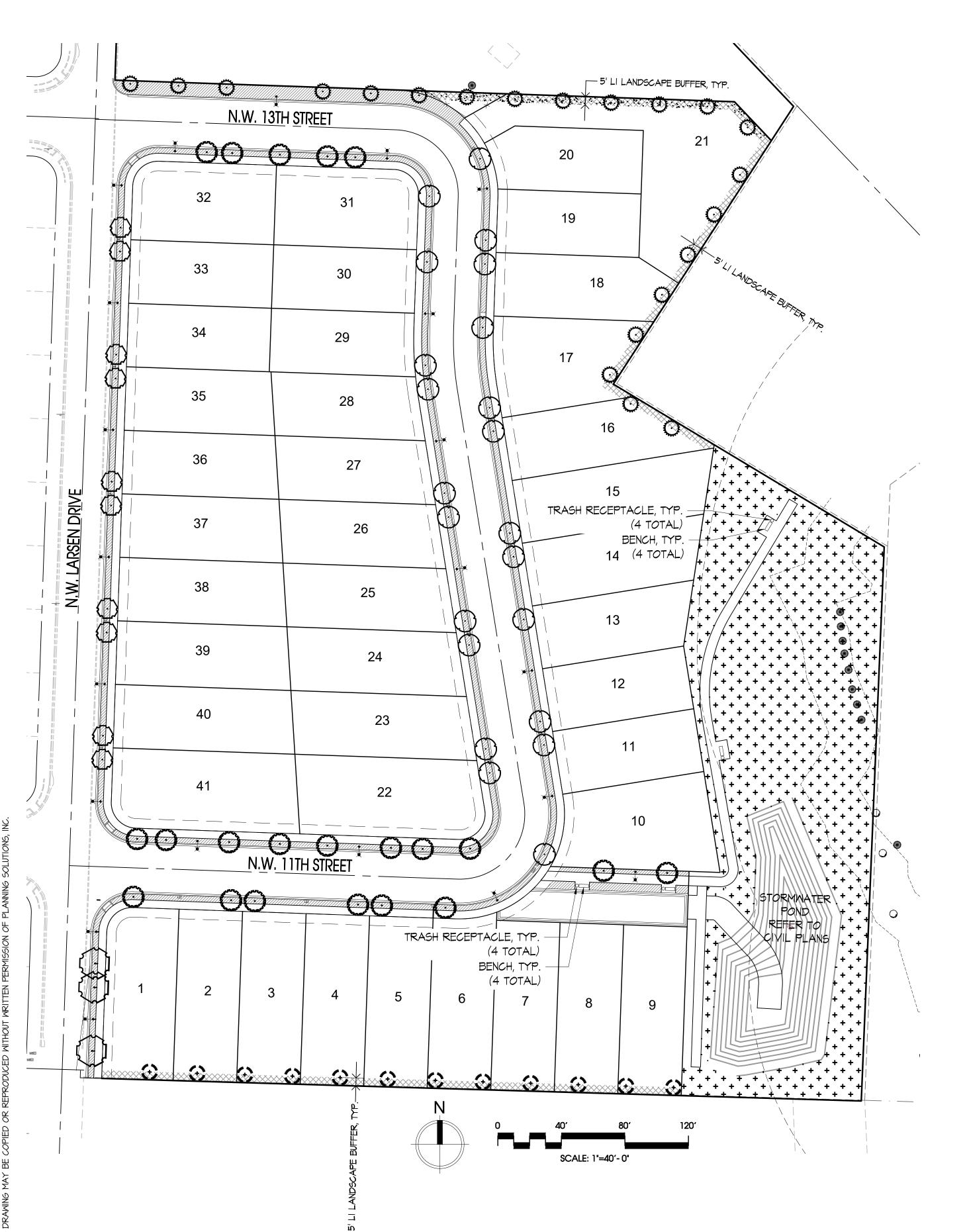
TREE PROTECTION / EROSION CONTROL FENCING SHALL BE ESTABLISHED PRIOR TO EXCAVATION. IT IS RECOMMENDED TO BE INSTALLED AT THE SAME TIME EROSION CONTROL MEASURES ARE INSTALLED. WHERE TREE FENCE AND EROSION CONTROL FENCE ARE LOCATED AT THE SAME LOCATION, EROSION FENCE THEN SERVES AS TREE PROTECTION FENCE. SEE DETAIL THIS SHEET.

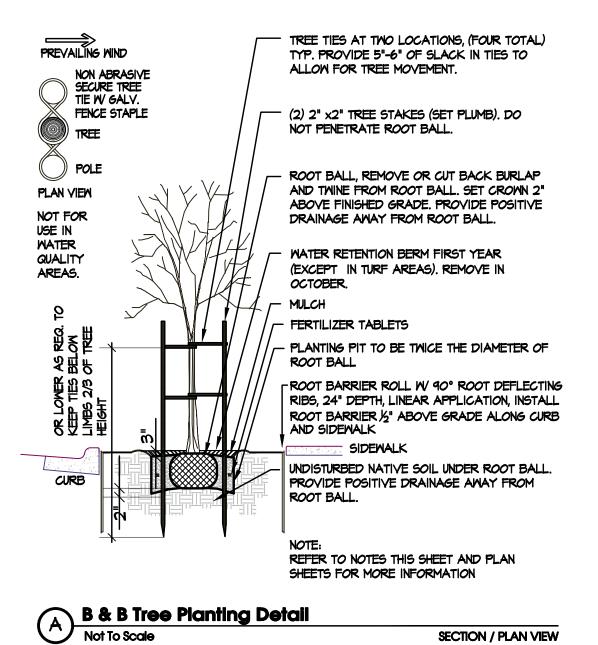
TREE PROTECTION NOTES

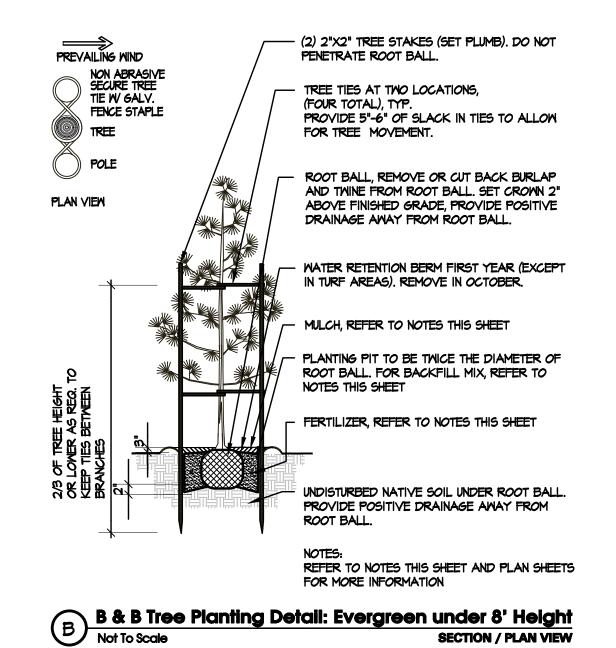
- l) No person may conduct any of the following activities within the drip line of the trees designated to remain including, but not limited to: parking equipment, fueling, servicing equipment, placing solvents, storing building material and soil deposits, dumping concrete washout and locating burn holes.
- 2) During construction, no person shall attach any object to the trees designated for
- 3) The contractor shall follow the grading plan provided by the project civil engineer. Grading activities shall be conducted in a manner to minimize the impacts to the trees markeð for preservation.
- 4) The excavator shall keep a sharp pair of loppers and a sharp 12" pruning saw accessible on-site during grading operations. Any roots larger than ½" shall be pruned to the face of the cut (using a sharp pair of loppers or a sharp 12" pruning saw) and shall not be torn from the ground by mechanical excavation.
- 5) Special care shall be exercised in working within 20 feet of the trees to be retained. This includes hand excavating the roots at the edge of the excavation and cutting roots with a lopper or pruning saw. Pruning the roots at the edge of excavation will minimize breakage of healthy roots beyond the edge of the proposed excavation.
- 6) Except for the proposed improvements shown within the drip lines of the trees noted to be retained the grade shall not be elevated or reduced from existing grade.
- 7) If the grade adjacent to a preserved tree is raised such that it could slough or erode into the tree's drip line, it shall be permanently stabilized.
- Clearing operations shall be conducted so as to expose the smallest practical area of soil to erosion for the least possible time. Refer to the project's erosion control plan for more information.

8) The trees noted to retained shall be protected from erosion and sedimentation.

- 9) The project shall not install an impervious surface other than those specifically shown on the plans within the drip line of the trees to be retained.
- 10)Utility trenches shall be located outside of the drip line of the trees to be retained.
- 1) Ongoing Tree Maintenance shall be the responsibility of the land owner. Trees shall be maintained in accordance with ANSI American National Standards Institute's as well as other applicable Federal, State and Local standards pertaining to Tree Care Operations.
- ANSI Z133 Arboricultural Operations: Safety Requirements
- ANSI A300 Part | Pruning







PLANTING NOTES

SECTION / PLAN VIEW

- ALL BOUNDARIES EASEMENTS UTILITIES AND LEGAL ENCUMBRANCES TO BE CONFIRMED WITH OWNER PRIOR TO BEGINNING WORK. PROPERTY LINES AND SURVEY INFORMATION PROVIDED BY PLS ENGINEERING INC.
- 2. IN NO WAY IS THIS PLAN TO BE INTERPRETED TO EXCEED THE LEGAL BOUNDARIES OF THE OWNER'S REAL 3. THE LANDSCAPE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF BOUNDARIES, UTILITIES AND
- WETLANDS. 4. THIS PLAN SHALL BE INSTALLED TO MEET ALL APPLICABLE CITY, COUNTY, STATE AND FEDERAL CODES.
- 5. THIS PLAN SHALL BE CONSIDERED PRELIMINARY UNTIL APPROVED BY ALL GOVERNING AGENCIES. IMPLEMENTATION OF THIS PLAN SHALL NOT PROCEED UNTIL ISSUANCE OF ALL RELATED PERMITS.
- 6. PLANT QUANTITIES ARE FOR INFORMATION ONLY. IN CASE OF ANY DISCREPANCY, THE PLAN SHALL GOVERN.
- ALL WORK IS TO BE PERFORMED BY LICENSED CONTRACTORS AND EXPERIENCED WORKERS. 8. THE CONTRACTOR IS TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES PRIOR TO PERFORMING ANY EXCAVATION. CONTRACTOR SHALL REPAIR ANY DAMAGE TO UTILITIES CAUSED BY THE CONTRACTOR'S WORK, AT NO ADDITIONAL COST TO THE OWNER. CONTACT ALL UTILITY PROVIDERS SERVING THE SITE AREA 48 HOURS PRIOR TO ANY EXCAVATION.
- 9. ALL PLANT MATERIALS SHALL MATCH SPECIFICATIONS PER SPECIES AND SHALL COMPLY WITH ANSI Z60.1 'STANDARD FOR NURSERY STOCK'.
- 10. THE CONTRACTOR SHALL ADHERE TO THE WASHINGTON ASSOCIATION OF NURSERYMEN'S GUIDELINES FOR PLANTING PRACTICES.
- II. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING ELEMENTS ON AND OFF SITE, RESULTING FROM THE CONTRACTOR'S WORK.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR THE VIABILITY OF ALL PLANT MATERIAL FOR 2 YEARS AFTER COMPLETION OF PLANTING. DISEASED, DYING, OR DEAD PLANT MATERIAL SHALL BE REPLACED BY THE
- CONTRACTOR DURING THE TWO YEAR PERIOD AND MAINTAINED FOR AN ADDITIONAL 2 YEAR PERIOD. 13. IMMEDIATELY UPON BID AWARD, CONTRACTOR SHALL SECURE THE PLANT MATERIALS AS SPECIFIED FROM AVAILABLE SOURCES. IN THE EVENT THAT PLANT MATERIALS ARE NOT AVAILABLE, CONTACT LANDSCAPE ARCHITECT FOR APPROVED SUBSTITUTIONS. NO SUBSTITUTION FOR PLANT MATERIAL WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- 14. TOP DRESS ALL SHRUB AND GROUND COVER AREAS (NOT LAWN) WITH 3" OF FIR BARK MULCH. SUBMIT SAMPLE TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
- 15. TREE LOCATIONS MAY BE ADJUSTED IN THE FIELD TO SUIT SITE REQUIREMENTS AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- 16. THE CONTRACTOR SHALL ENSURE THAT ALL EXCAVATED PLANTING PITS HAVE POSITIVE DRAINAGE. PLANT PITS
- FULLY FLOODED WITH WATER SHALL DRAIN WITHIN (12) HOURS OF FILLING.
- 17. FINISH GRADE SHALL BE SET TO ALLOW POSITIVE DRAINAGE 18. ROTOTILL 2" OF COMPOST INTO ALL PLANTED AREAS.
- 19. INCORPORATE PEAT INTO THE ROOT ZONE OF RHODODENDRONS, AZALEAS AND OTHER ACID LOVING PLANTS.
- 20. INCORPORATE 10-20-20 FERTILIZER INTO THE ROOT ZONE OF ALL NEW PLANTINGS. 21. RONSTAR, OR APPROVED EQUAL, PREEMERGENT HERBICIDE TO BE APPLIED TO ALL PLANTED AREAS PER MANUFACTURERS INSTRUCTIONS.
- 22. EXISTING VEGETATION TO BE SPRAYED WITH ROUNDUP, OR APPROVED EQUAL, PER MANUFACTURERS INSTRUCTIONS. SUFFICIENT TIME SHALL BE GIVEN TO ALLOW EXISTING MATERIAL TO DIE. REMOVE EXISTING 27. THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING TURF PLANTED WITHIN THE RIGHT OF WAY.
- 23. CROWN LAWN AREAS AND GRADE TO PROVIDE POSITIVE DRAINAGE.
- 24. ROLL LAWN AREA TO INSURE PROPER COMPACTION TO MINIMIZE SETTLING.
- 25. AMEND SOIL IN LAWN AREAS WITH 80 LBS. OF DOLOMITE LIME AND 40 LBS. OF 10-20-20 SLOW RELEASE FERTILIZER OR EQUIVALENT. PROVIDE A 3" LAYER OF SANDY LOAM TOPSOIL FOR LAWN AND BED AREA. 26. SEED LAWN AREAS WITH GRASS SEED MANUFACTURER'S RECOMMENDATIONS. COVER SEED WITH FINE MULCH APPLIED WITH ROLLER OR HYDROSEED.
- 27. THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING TURF PLANTED WITHIN THE RIGHT OF WAY.
- 28. PLANT MATERIAL SHALL BE PLANTED W/ ROOT CROWN I" ABOVE FINISHED GRADE TO ALLOW POSITIVE
- DRAINAGE AWAY FROM CROWN. 29. STAKE ALL TREES OVER 6 FT. IN HEIGHT PER DETAILS ON THIS SHEET.
- 30. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 31. ALL PLANTING SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM.
- 32. ALL PLANT MATERIALS FURNISHED ARE TO BE HEALTHY, UNIFORMLY BRANCHED AND WITH WELL DEVELOPED FIBROUS ROOT SYSTEMS.
- 33. ALL PLANT MATERIALS FURNISHED ARE TO BE FREE FROM DEAD OR BROKEN BRANCHES, LICHENS, SCARS, BROKEN BARK OR WOUNDS. ALL PLANT MATERIALS WILL BE INSECT, WEED, AND DISEASE FREE ACCORDING TO THE REQUIREMENTS OF THE WASHINGTON STATE DEPARTMENT OF AGRICULTURE FOR NURSERY PLANT MATERIALS SOLD FOR WHOLESALE OR RETAIL. ALL PRUNING WOUNDS MUST BE WELL HEALED WITH NO EVIDENCE OF DECAY.
- 34. FIELD CONFIRM ALL SITE CONDITIONS, AREAS AND SIZES PRIOR TO BIDDING & CONSTRUCTION. DO NOT SCALE FROM PLANS.

PLANT LEGEND							
SYMBOL	BOTANICAL / COMMON NAME	SIZE	QUANTITY				
TREES							
•	● EXISTING TREES TO REMAIN, REFER TO SHT LI						
0	ACER RUBRUM 'ARMSTRONG' ARMSTRONG MAPLE	2" cal. Min.	21				
\odot	ACER RUBRUM 'RED SUNSET' RED SUNSET MAPLE	2" cal. Min.	22				
0	CALOCEDRUS DECURRENS INCENSE CEDAR	6' ht. Min.	21				
③	PINUS FLEXILIS 'VANDERMOLF'S PYRAMID' VANDERMOLF PINE	6' ht. Min.	12				
\bigcirc	TILIA CORDATA GREENSPIRE LINDEN	2" Cal. Min.	13				
GROUND COVER							
	GRASS LAWN OR ARCTOSTAPHYLOS / KINNICKINICK, PER OWNER	4" Min.	30" O.C.				
	GRASS LAWN OR GROUNDCOVER, PER OWNER						
+ + + + + + + + + + + + + + + + + + +	+ + + + + + + + + + + + + + + + + + +						

IRRIGATION NOTE

ALL LANDSCAPE AREAS SHALL BE HAND WATERED OR IRRIGATED WITH AN AUTOMATIC DRIP AND/OR SPRAY IRRIGATION SYSTEM. REFER TO CIVIL ENGINEERING PLANS FOR WATER SOURCE.

Planning Solutions, Inc.

Creating Solutions to Complex Issues

4400 NE 77th Avenue Suite 275

VOICE: 360-750-9000 FAX: 360-713-6102 www.planningsolutionsinc.com

VANCOUVER, WA 98662

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SCALE: DATE: l" = 40'-0" | Ol.09.24

ISSUED FOR: PLR REVISIONS:

PRELIMINARY LANDSCAPE PLAN

SHEET #:

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